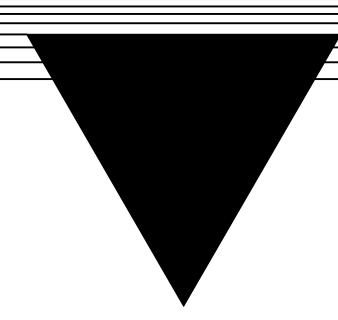
# BETHEL BAPTIST CHURCH

# 3006 SEAVILLE ROAD HARRODSBURG KY 40330



# **ARCHITECT:**

KEYES ARCHITECTS AND ASSOCIATES
3005 TAYLOR BOULEVARD
LOUISVILLE, KENTUCKY 40208
PH: (502) 636-5113
CONTACT: CHARLES J. KEYES III
EMAIL: ckeyes@keyesarchitects.com
ARCHITECT: CHARLES J. KEYES III

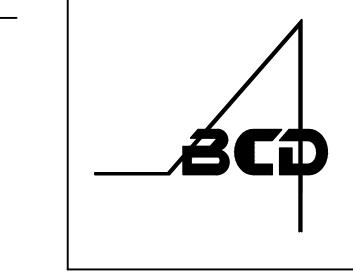
# **OWNER:**

BETHEL BAPTIST CHURCH 5581 BOHEN ROAD HARRODSBURG KY 40330 PH: (859) 366-5320 CONTACT NAME: EMAIL:

# DESIGN BUILD CONTRACTOR:

BCD CONSTRUCTION INC.
1962 FILIATREAU LANE
BARDSTOWN KY 40004
PH: (502) 348-2305
CONTACT: MICHAEL SALSMAN

EMAIL: msalsman@bardstown.com





PROJECT INFORMA	TION	
APPLICABLE BUILDING CODES  KENTUCKY BUILDING CODE (KBC) SUPPLIMENTAL TO 2012 INTERNATIONAL BUILDING CODE (IBC)	2013	
(IFC) INTERNATIONAL FIRE CODE NFPA 101 LIFE SAFETY CODE	2012 2000	
 INTERNATIONAL MECHANICAL CODE KENTUCKY PLUMBING CODE	2012 2012	
NATIONAL ELECTRIC CODE ICC/ANSI ACCESSIBLE & USABLE BUILDINGS	2010 2009	
(KY PLUMBING 815 KAR 20)  AMERICAN WITH DISABILITIES ACT (ADA)	2010	
INTERNATIONAL ENERGY CONSERVATION CODE (KENTUCKY BUILDING CODE)	2009	

USE AND OCCUPANCY: B-	BUSINESS, A3-ASSEI	MBLY
CONSTRUCTION TYPE: II-	В	
BUILDING INFORMATION:		
EXISTING BUILDING:	LOWER LEVEL UPPER LEVEL	3,882 S.F. 3,882 S.F.
BUILDING ADDITION:		5,208 S.F.
TOTAL BUILDING SIZE:		12,972 S.F.
FIRE SUPPRESSION:	NONE	
OCCUPANC	Y ALLOWA	NCE

00001	AITO I ALLO	/	OL
FUNCTION OF SPACE	ALLOWANCE	AREA	OCCUPANCY
SANCTUARY	15 NET	1,835	122
OFFICE/HALLWAYS	100 GROSS	2047	20
CLASSROOMS	20 NET	3,420	171
FELLOWSHIP HALL	7 NET	2,670	381
TC	TAL OCCUPANCY ALL	OWANCE:	694
	•		·

RE\	/ISIO1	NS:
1	11-28-16	CHANGED CANOPY SIZE, BRICK LEDGE, & FOUNDATIONS

# Sheet List Table

Sheet Number	Sheet Title
T1.01	Title Sheet
Demolition Plans	s & Details
D1.01	Demolition Plan
D1.02	Demolition Plan
Foundat F1.01	ion Plans & Details Foundation Plan
F2.01	Foundation Details
S1.01	Roof Framing Plan
Floor Plans	
A1.01	Floor Plan-Lower Level
A1.02	Floor Plan - Upper Level
A1.03 A1.04 Exterior	Covered Canopy Plan Covered Canopy Plan Elevations
A2.01	Exterior Elevations
A2.02 A2.03 Schedul	Exterior Elevations es and Standards
A3.01	

De	etails & \$	Sections
A:	5.01	Wall Sections and Det
A:	5.02	Wall Sections and Det
A:	5.03	Wall Sections and Det
A	6.01	Door Details
A	6.02	Window Details
Sp	pecificati	ions
SI	P1.01	Specifications
SI	P1.02	Specifications
		-

A3.03 Schedule

# **SHEET NOTES:**

REMOVE WALL

2 REMOVE DOOR

4 REMOVE WINDOW

5 REMOVE PLUMBING FIXTURES AND CAP PIPING

6 REMOVE ELECTRICAL SERVICE AND RELOCATE

7 REWORK RADIANT HEAT - PIPING AND RADIATORS IN THIS AREA

3 REMOVE STAIR COMPLETELY FROM LOWER LEVEL TO 2ND FLOOR

REWORK DUCT WORK IN THIS AREA. CAP DIFFUSER, ROUTE NEW DUCT TO ELEVATOR EQUIPMENT ROOM AND CLOSETS ADJACENT TO STAIRS.

9 EXISTING HVAC CONDENSERS TO BE RELOCATED

PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION BY SELECTIVE DEMOLITION OPERATIONS.

WHERE REPAIRS TO EXISTING SURFACES ARE REQUIRED, PATCH TO

RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO ADJOINING CONSTRUCTION TO REMAIN IN A MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REFINISHING.

DEMOLISHED WALLS OR PARTITIONS EXTEND ONE FINISHED AREA INTO ANOTHER. PROVIDE A FLUSH AND EVEN SURFACE OF UNIFORM COLOR AND APPEARANCES.

REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE

REMOVE ITEMS INDICATED, CLEAN SURFACE, AND OTHERWISE REPAIR THEM FOR REUSE; STORE AND PROTECT AGAINST DAMAGE. REINSTALL ITEMS IN LOCATIONS INDICATED.

PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION. WHEN PERMITTED BY THE ARCHITECT, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION DURING SELECTED DEMOLITION AND THEN CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS.

IDENTIFY AND ACCURATELY LOCATE CAPPED UTILITIES AND OTHER SUBSURFACE STRUCTURAL ELECTRICAL OR MECHANICAL CONDITIONS. DOCUMENT THESE UTILITIES ON RECORD DRAWINGS PROVIDED TO

PROTECT WALLS, CEILINGS, FLOORS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN AND ARE EXPOSED DURING SELECTIVE DEMOLITION OPERATIONS. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACE AND AREAS.

COVER AND PROTECT FURNITURE, FURNISHINGS, AND EQUIPMENT THAT

EXISTING BEFORE START OF NEW WORK.

DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. DISPOSAL: PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE. TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM. SWEEP THE AREA OF WORK BROOM CLEAN ON COMPLETION OF

IF BUSINESS WILL REMAIN OPERATIONAL DURING DEMOLITION AND CONSTRUCTION COORDINATE ACTIVITIES WITH OWNER TO MINIMIZE OR ELIMINATE DISRUPTION TO THE OPERATION OF THE BUSINESS.

PATCH AND REPAIR NOTES

PRODUCE SURFACES SUITABLE FOR NEW MATERIALS.

PATCH AND REPAIR FLOOR AND WALL SURFACES IN THE NEW SPACE WHERE

#### SELECTIVE DEMOLITION NOTES

REINSTALLED SALVAGED, OR TO REMAIN THE OWNER'S PROPERTY.

ARCHITECT UPON COMPLETION OF PROJECT.

HAVE NOT BEEN REMOVED.

BY SELECTIVE DEMOLITION OPERATIONS. RETURN AREAS TO CONDITION

SELECTIVE DEMOLITION OPERATION.

PROTECTION OF PEDESTRIANS SHALL BE PROVIDED DURING CONSTRUCTION, REMODELING, AND DEMOLITION ACTIVITIES AS REQUIRED BY STATE BUILDING CODE. SIGNS SHALL BE PROVIDED TO DIRECT PEDESTRIAN TRAFFIC DURING DEMOLITION. CONSTRUCTION AND REMODELING.

15-1739 DRAWN BY:

HWC/

04-12-2016

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DEMOLITION PLAN

D1.01

02 DEMOLITION - ELEVATION

SCALE: 3/16" = 1'-0"

**→** SYMBOL

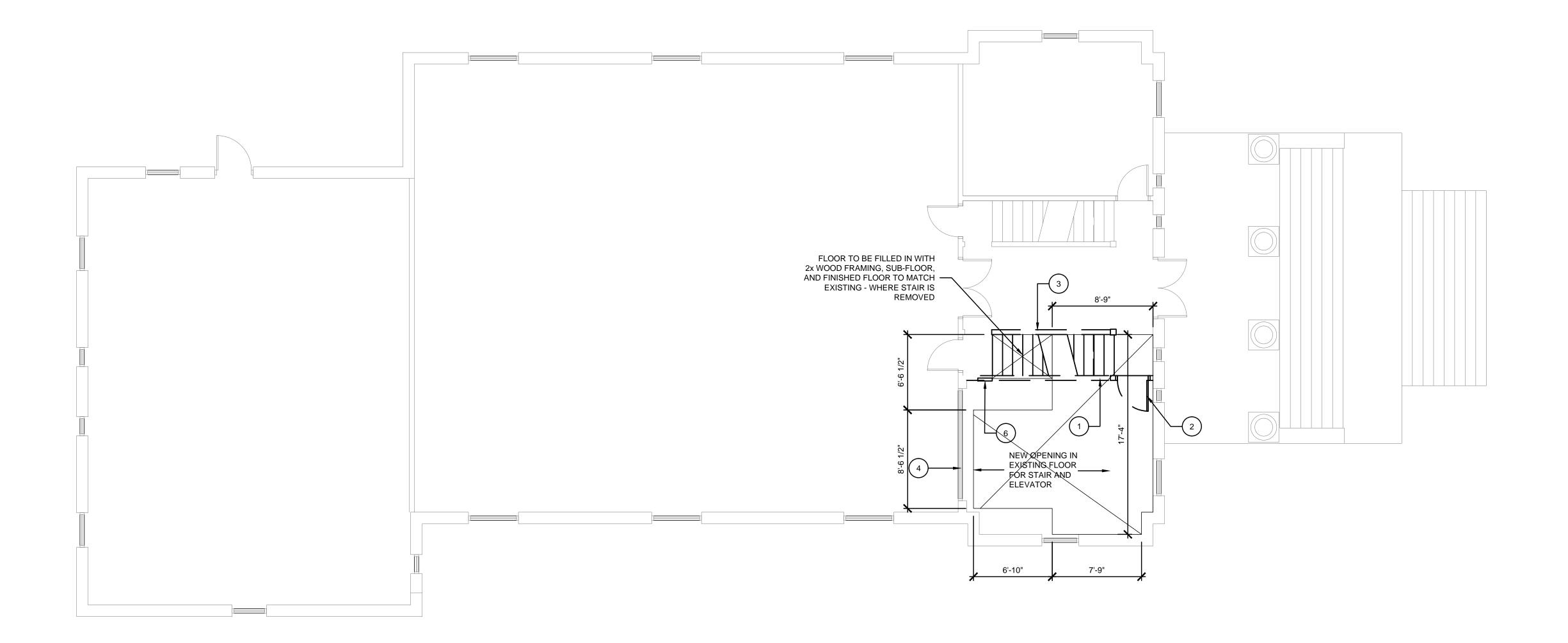
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01 DEMOLITION PLAN - UPPER LEVEL

SCALE: 1/4" = 1'-0"



#### PATCH AND REPAIR NOTES

PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION BY SELECTIVE DEMOLITION OPERATIONS.

WHERE REPAIRS TO EXISTING SURFACES ARE REQUIRED, PATCH TO PRODUCE SURFACES SUITABLE FOR NEW MATERIALS.

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# SELECTIVE DEMOLITION NOTES

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IDENTIFY AND ACCURATELY LOCATE CAPPED UTILITIES AND OTHER SUBSURFACE STRUCTURAL ELECTRICAL OR MECHANICAL CONDITIONS. DOCUMENT THESE UTILITIES ON RECORD DRAWINGS PROVIDED TO ARCHITECT UPON COMPLETION OF PROJECT.

THAT ARE TO REMAIN AND ARE EXPOSED DURING SELECTIVE DEMOLITION OPERATIONS. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACE AND AREAS.

HAVE NOT BEEN REMOVED.

EXISTING BEFORE START OF NEW WORK.

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PROTECTION OF PEDESTRIANS SHALL BE PROVIDED DURING CONSTRUCTION, REMODELING, AND DEMOLITION ACTIVITIES AS REQUIRED BY STATE BUILDING CODE. SIGNS SHALL BE PROVIDED TO DIRECT PEDESTRIAN TRAFFIC DURING DEMOLITION. CONSTRUCTION AND REMODELING.

CONSTRUCTION COORDINATE ACTIVITIES WITH OWNER TO MINIMIZE OR ELIMINATE DISRUPTION TO THE OPERATION OF THE BUSINESS.

PROTECT WALLS, CEILINGS, FLOORS, AND OTHER EXISTING FINISH WORK

COVER AND PROTECT FURNITURE, FURNISHINGS, AND EQUIPMENT THAT

**SHEET NOTES:** 

6 REMOVE ELECTRICAL SERVICE AND RELOCATE

3 REMOVE STAIR COMPLETELY FROM LOWER LEVEL TO 2ND FLOOR

1 REMOVE WALL

2 REMOVE DOOR

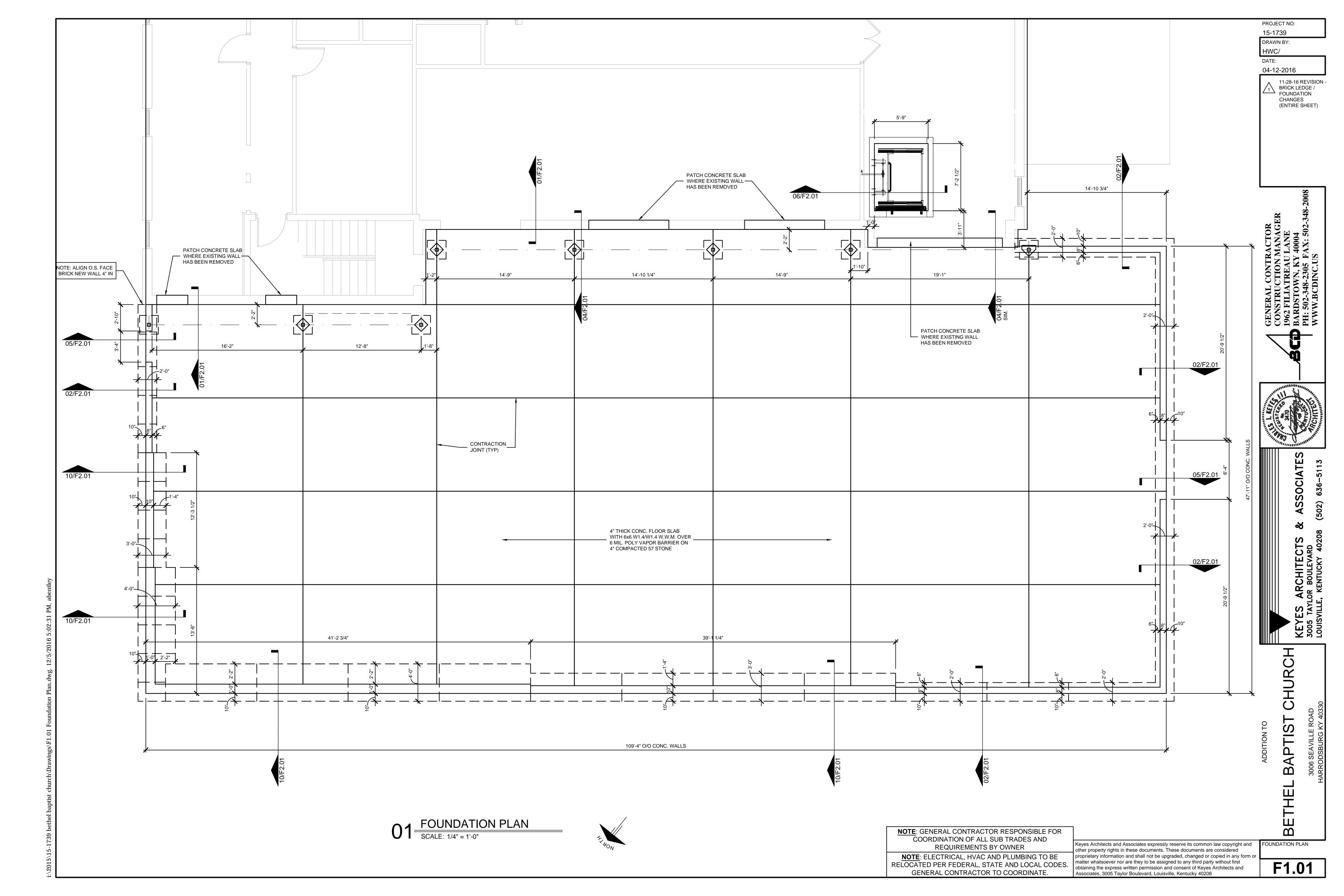
4 REMOVE WINDOW

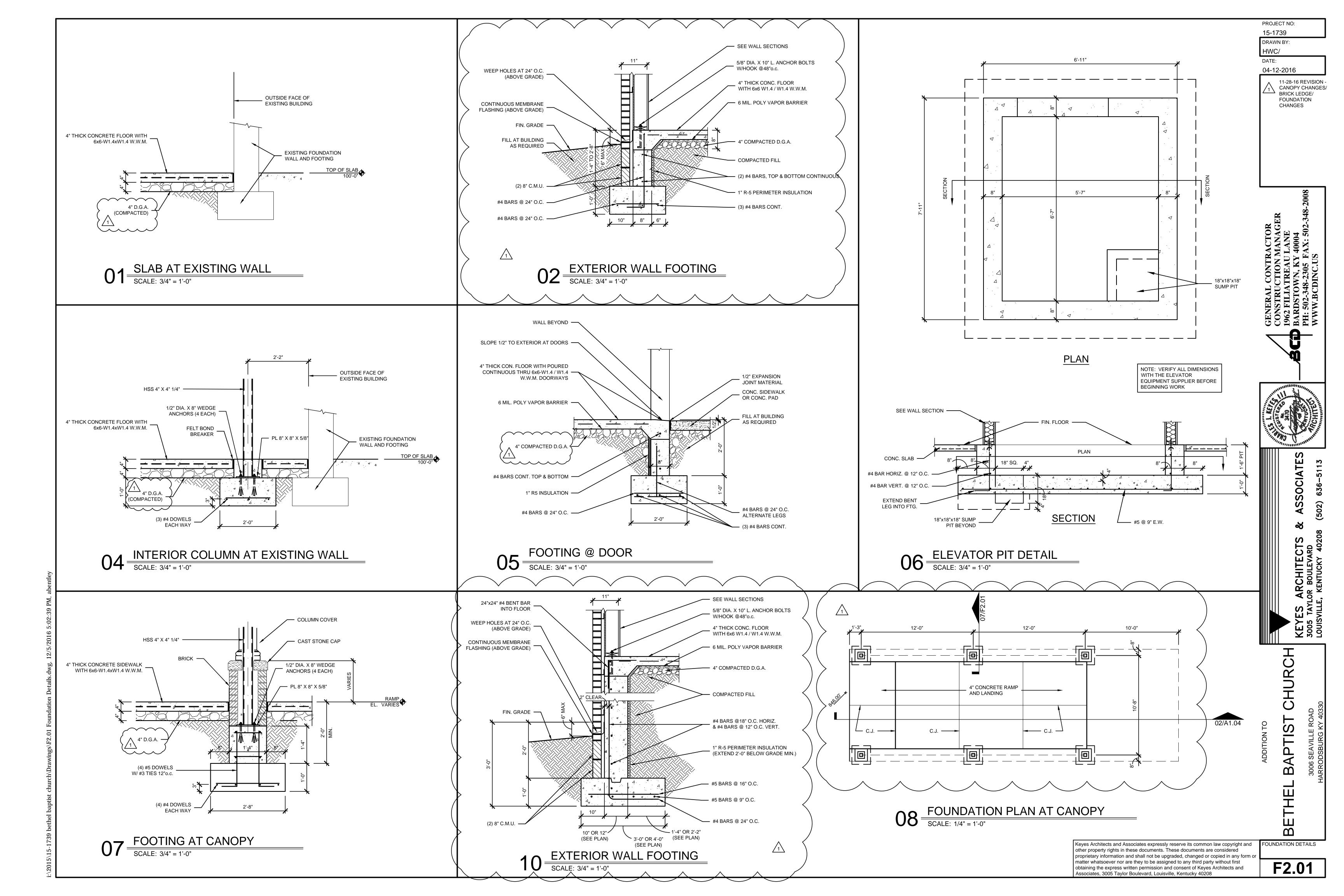
5 NOT USED

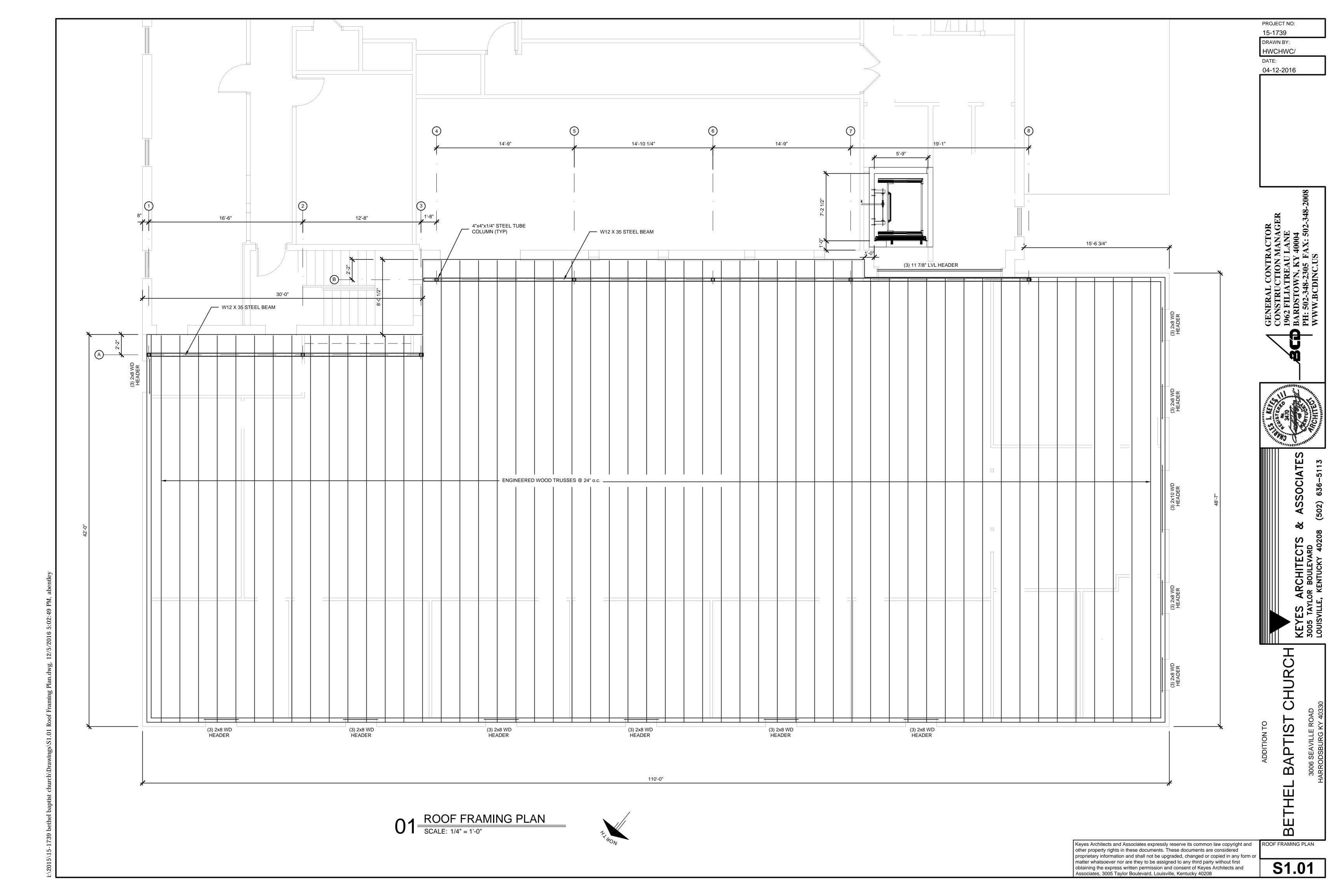
BY SELECTIVE DEMOLITION OPERATIONS. RETURN AREAS TO CONDITION

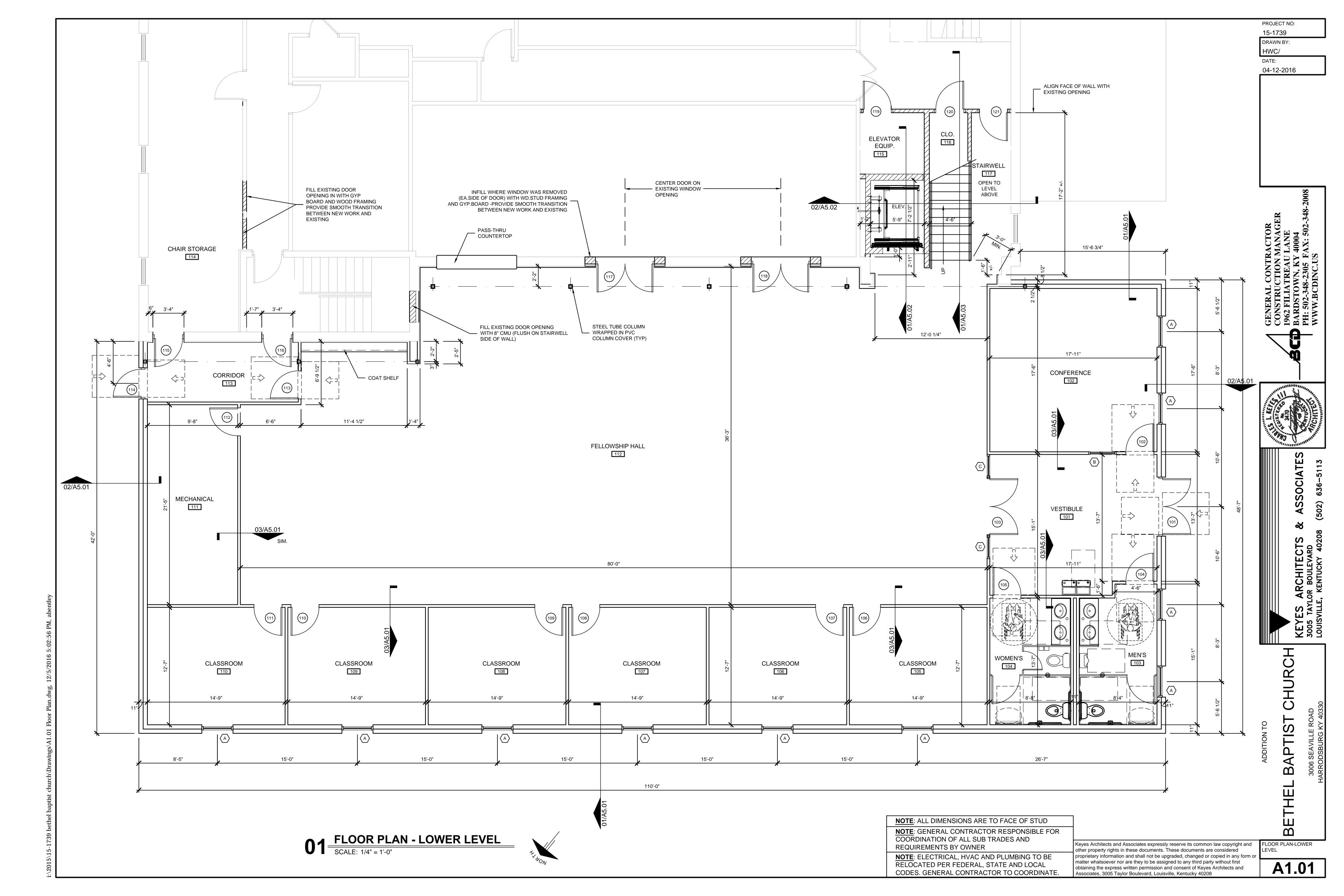
REINSTALLED SALVAGED, OR TO REMAIN THE OWNER'S PROPERTY. SELECTIVE DEMOLITION OPERATION.

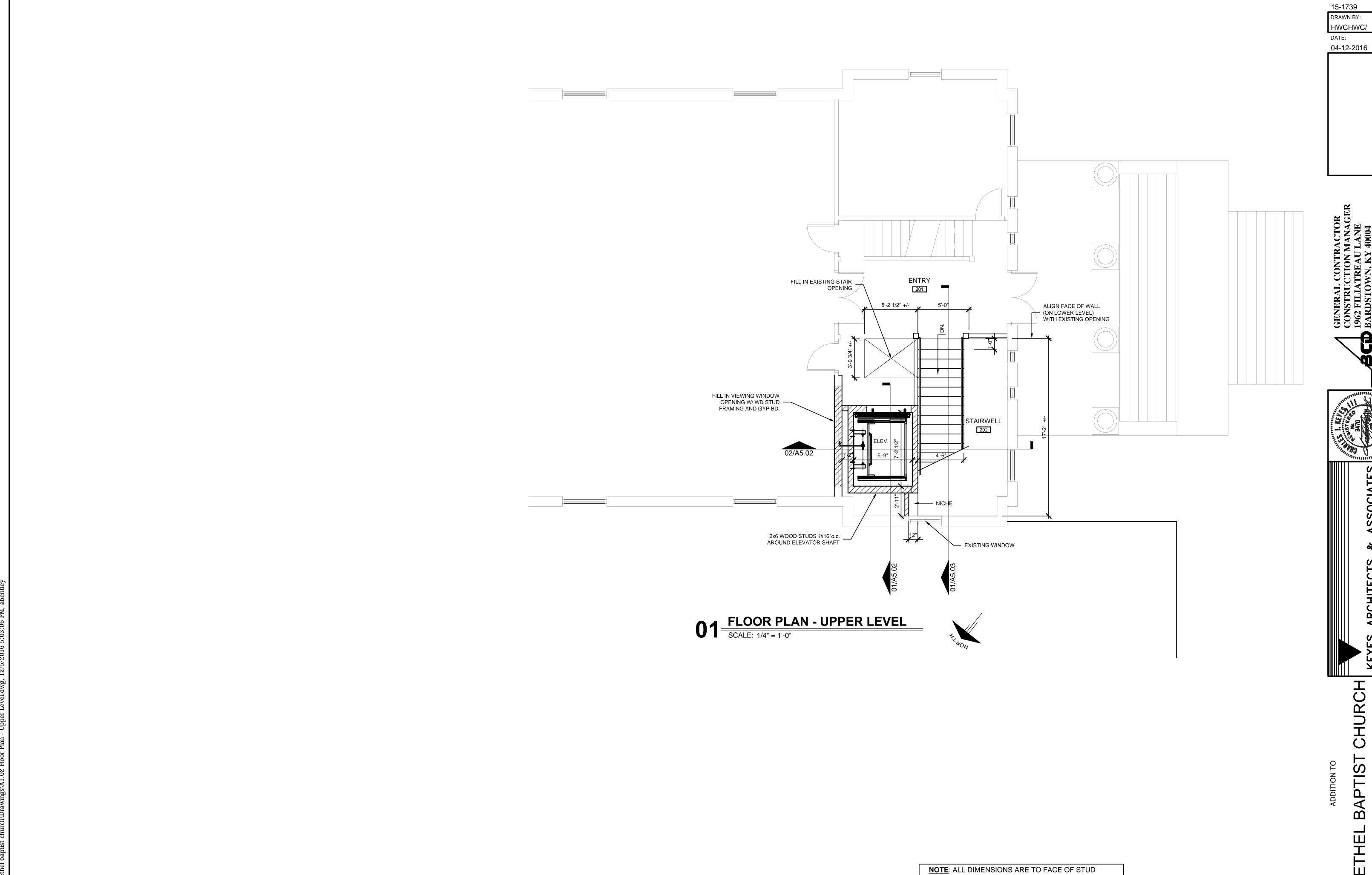
IF BUSINESS WILL REMAIN OPERATIONAL DURING DEMOLITION AND











PROJECT NO: 15-1739

DRAWN BY: HWCHWC/

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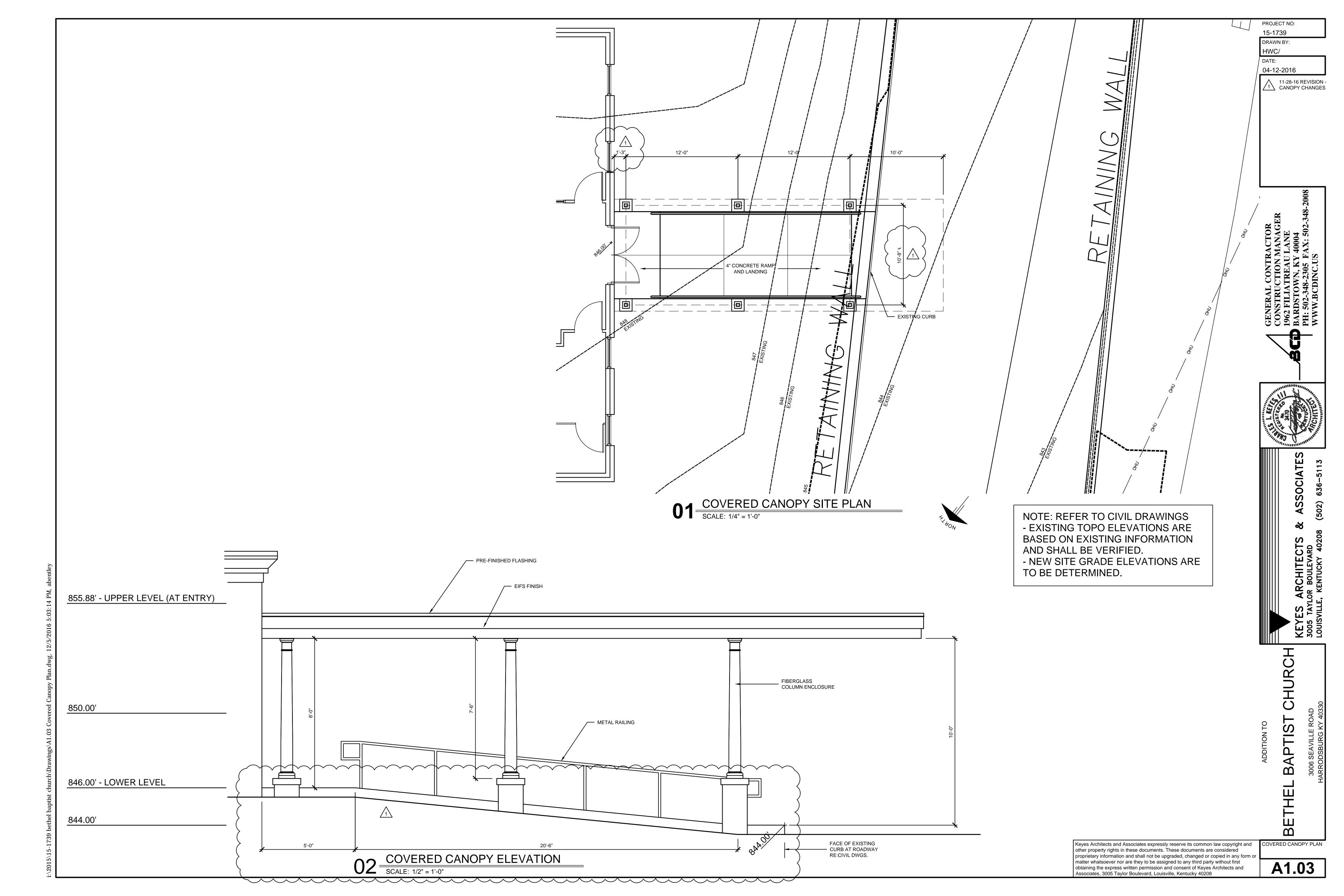
FLOOR PLAN - UPPER LEVEL

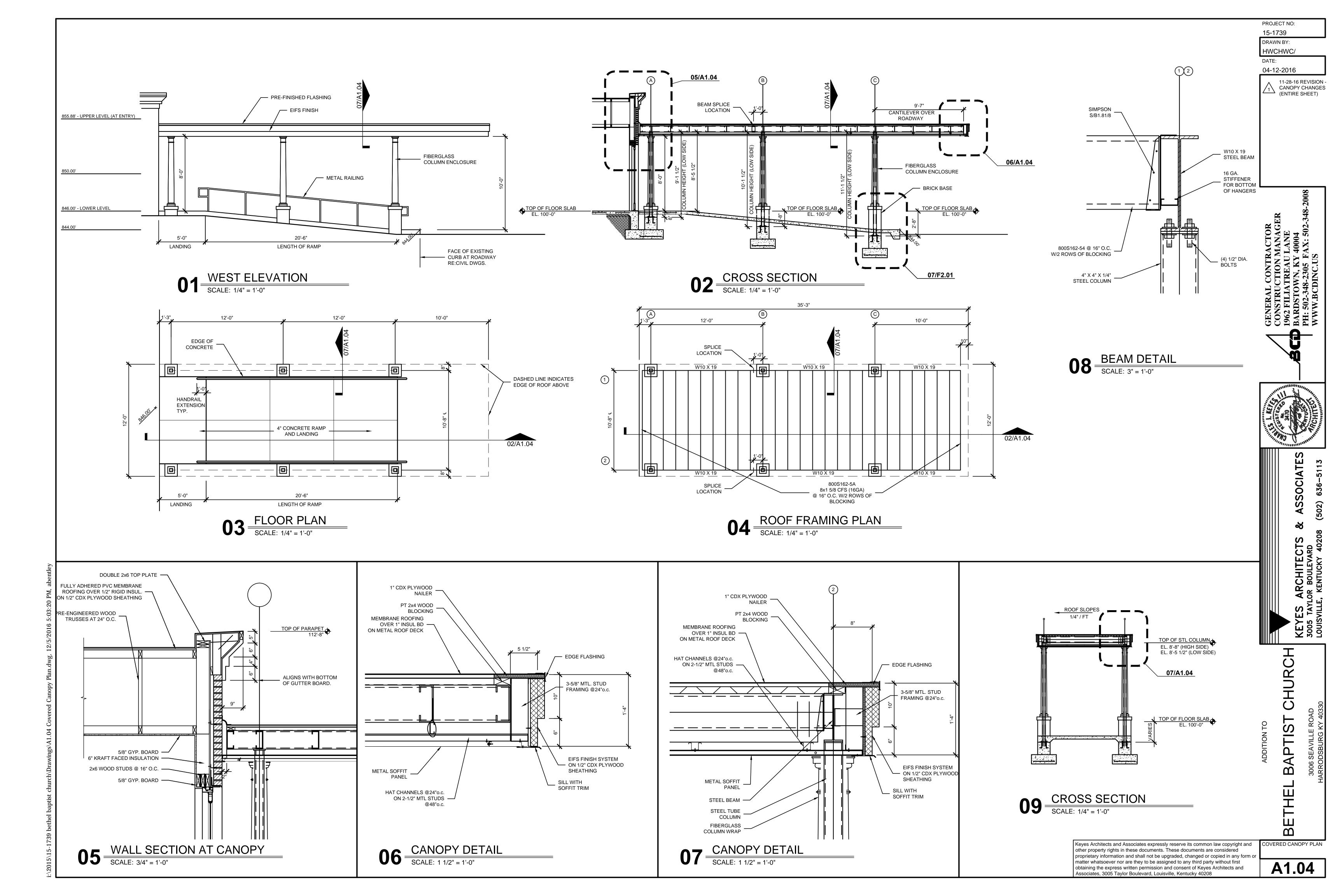
NOTE: GENERAL CONTRACTOR RESPONSIBLE FOR COORDINATION OF ALL SUB TRADES AND

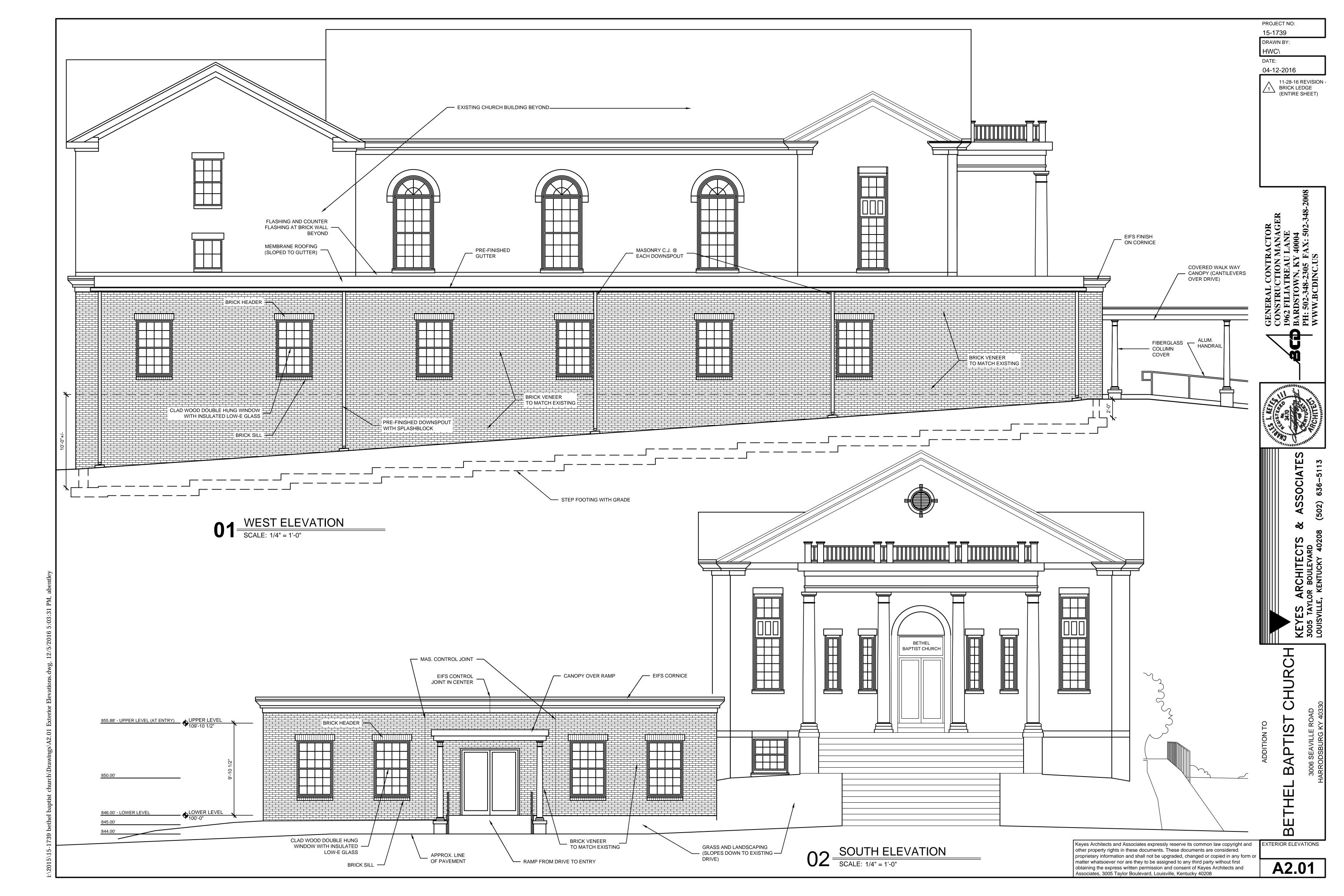
NOTE: ELECTRICAL, HVAC AND PLUMBING TO BE RELOCATED PER FEDERAL, STATE AND LOCAL

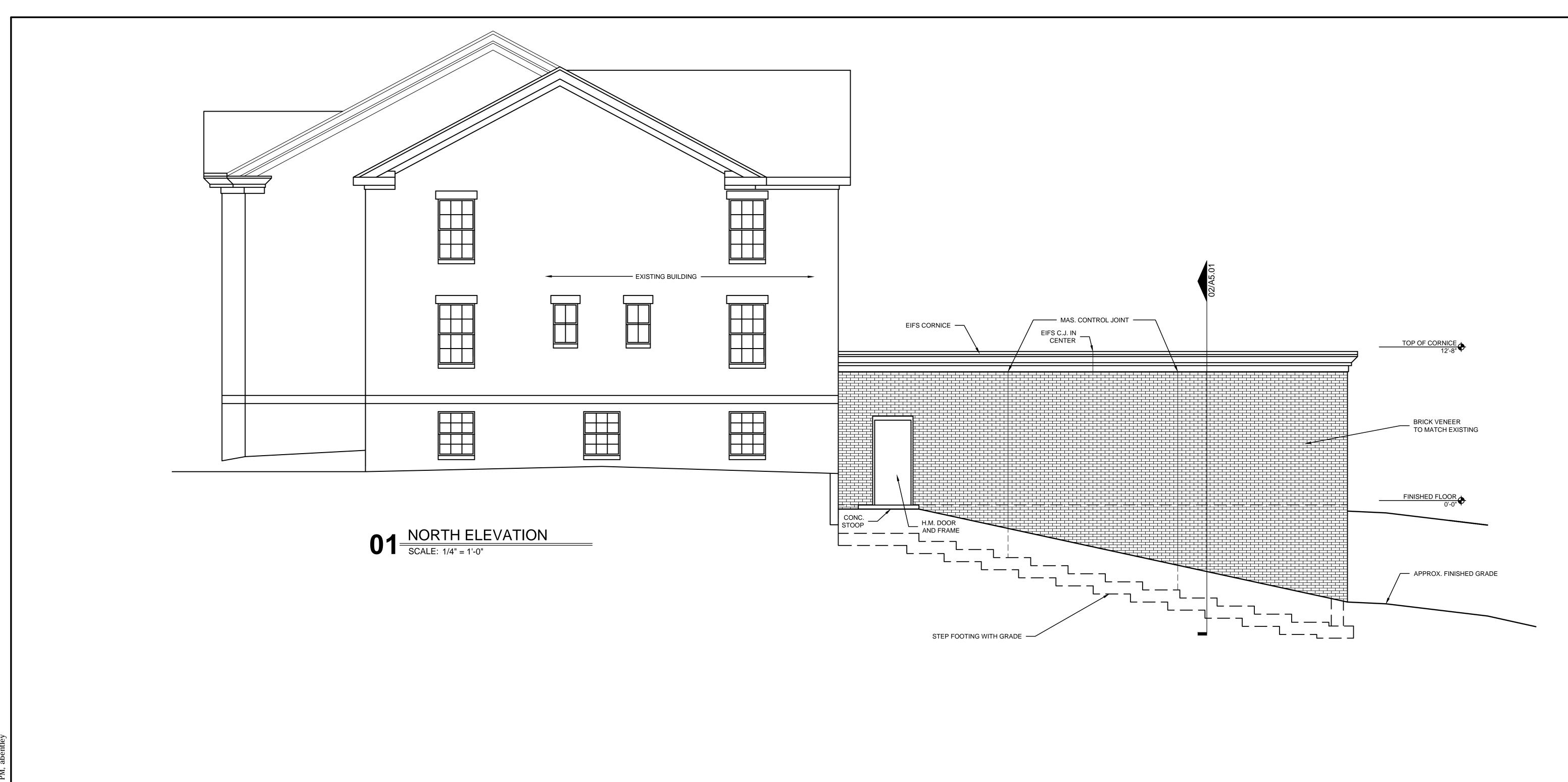
CODES. GENERAL CONTRACTOR TO COORDINATE.

REQUIREMENTS BY OWNER









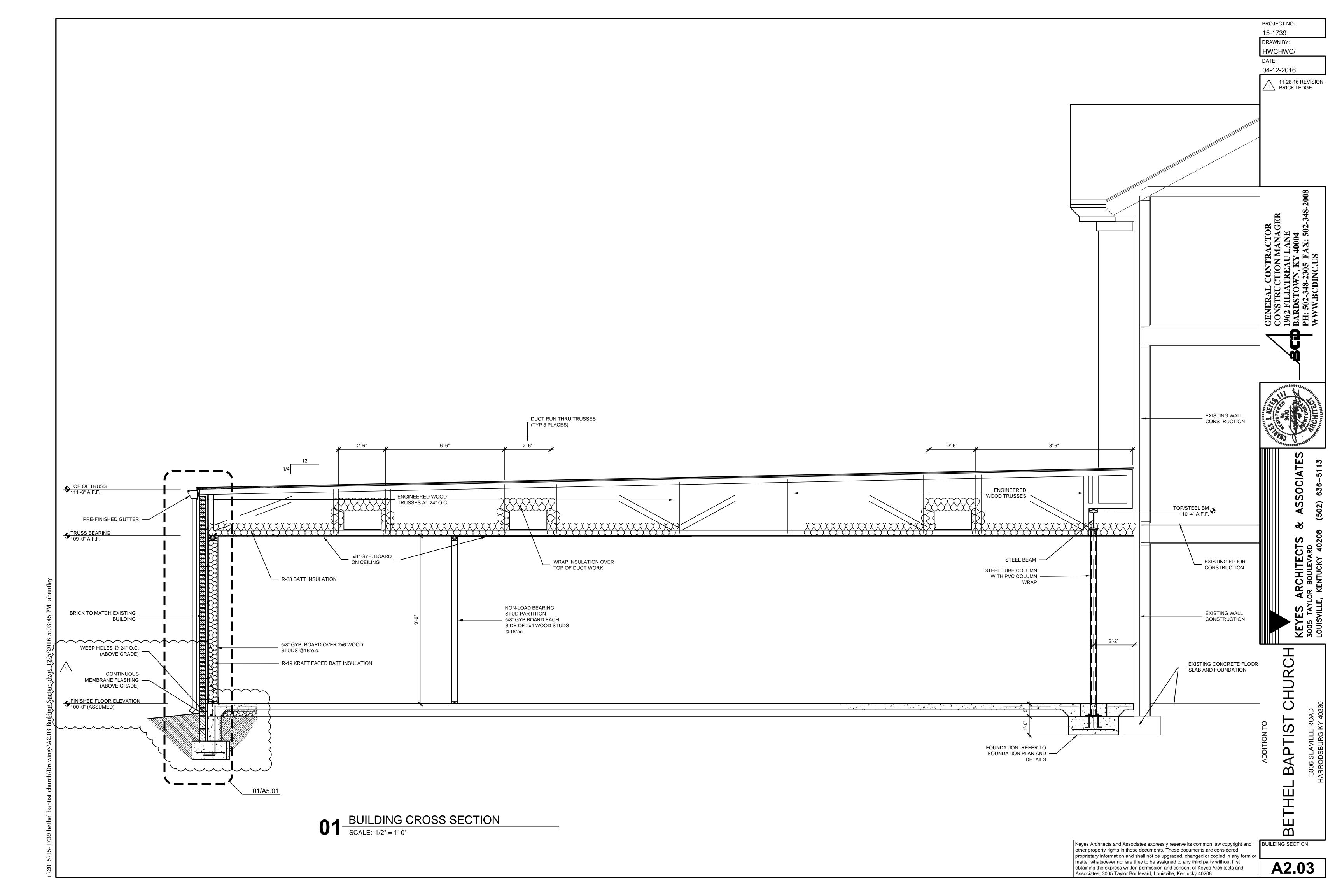
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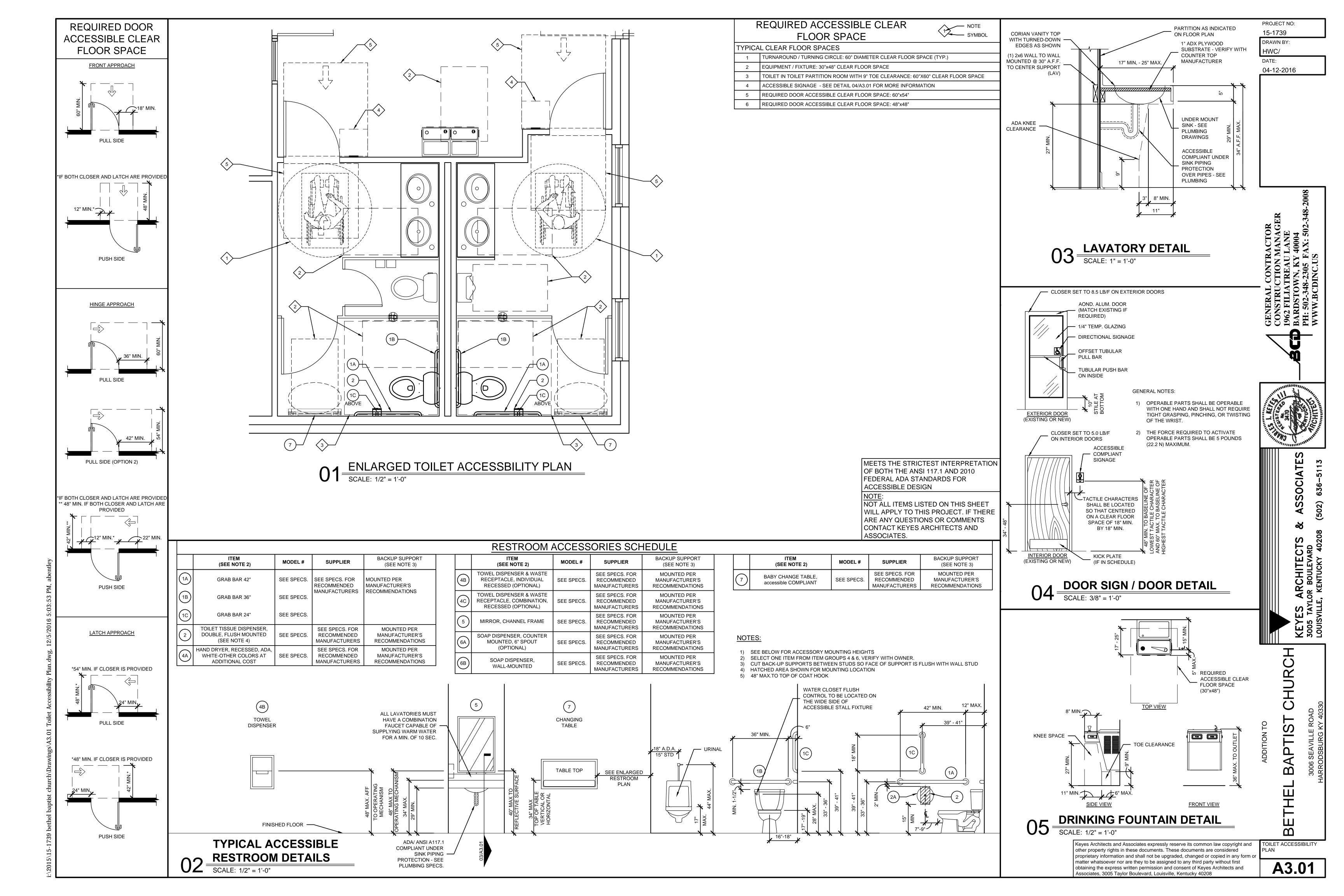
HWCHWC/

04-12-2016

11-28-16 REVISION -BRICK LEDGE (ENTIRE SHEET)

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ROOM	FINISH SCHED	ULE					
ROOM#	ROOM NAME	FLOOR	BASE	WALLS	CEILING MTL	CEILING HGT	REMARKS
101	VESTIBULE	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-11 1/2"	
102	CONFERENCE ROOM	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-11 1/2"	
103	MEN'S	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-11 1/2"	
104	WOMEN'S	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-11 1/2"	
105	CLASSROOM	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-11 1/2"	
106	CLASSROOM	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-11 1/2"	
107	CLASSROOM	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-11 1/2"	
108	CLASSROOM	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-11 1/2"	
109	CLASSROOM	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-11 1/2"	
110	CLASSROOM	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-11 1/2"	
111	MECHANICAL	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-11 1/2"	
112	FELLOWSHIP HALL	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-11 1/2"	
113	CORRIDOR	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-11 1/2"	
114	CHAIR STORAGE	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-11 1/2"	
115	ELEV. EQUIPMENT	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-0"	
116	CLOSET	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	8'-0"	
117	HALL	VCT	VINYL	PAINT/ GYP. BD	PAINT/ GYP. BD.	OPEN TO UPPER LEVEL	
201	ENTRY	EXISTING	EXISTING	PAINT/ GYP. BD	PAINT/ GYP. BD.	-	
202	STAIRWELL	WD TREADS	WOOD	PAINT/ GYP. BD	PAINT/ GYP. BD.	-	

#### ABBREVIATIONS:

1) VCT - VINYL COMPOSITION TILE

2) WD - WOOD

3) GYP. BD. - GYPSUM WALL BOARD

DOOI	R SCHEI	DULE				DOOR TYP SYMBO	7000)
NUMBER	SIZE	FIRE	MATERIAL	FRAME	HARDWARE	DETAILS	REMARKS
101	PR. 3'-0"x7'-0"	N/A	ALUM./GLASS	ALUM.	1	01,02,03/A6.01	1
102	3'-0"x7'-0"	N/A	S.C. WOOD	WOOD	3	09,10/A6.01	
103	PR. 3'-0"x7'-0"	N/A	WD/GLASS	WOOD	2	04,05,06/A6.01	2
104	3'-0"x7'-0"	N/A	S.C. WOOD	WOOD	5	09,10/A6.01	
105	3'-0"x7'-0"	N/A	S.C. WOOD	WOOD	5	09,10/A6.01	
106	3'-0"x7'-0"	N/A	S.C. WOOD	WOOD	4	09,10/A6.01	
107	3'-0"x7'-0"	N/A	S.C. WOOD	WOOD	4	09,10/A6.01	
108	3'-0"x7'-0"	N/A	S.C. WOOD	WOOD	4	09,10/A6.01	
109	3'-0"x7'-0"	N/A	S.C. WOOD	WOOD	4	09,10/A6.01	
110	3'-0"x7'-0"	N/A	S.C. WOOD	WOOD	4	09,10/A6.01	
111	3'-0"x7'-0"	N/A	S.C. WOOD	WOOD	4	09,10/A6.01	
112	3'-0"x7'-0"	N/A	S.C. WOOD	WOOD	6	09,10/A6.01	
113	3'-0"x7'-0"	20 MIN	S.C. WOOD	WOOD	4	09,10/A6.01	
114	3'-0"x7'-0"	N/A	H.M.	H.M.	8	07,08/A6.01	
115	3'-0"x7'-0"	20 MIN	S.C. WOOD	WOOD	4	09,10/A6.01	
116	3'-0"x7'-0"	20 MIN	S.C. WOOD	WOOD	4	09,10/A6.01	
117	PR.3'-0"x7'-0"	N/A	S.C. WOOD	WOOD	4	09,10/A6.01	
118	PR.3'-0"x7'-0"	N/A	S.C. WOOD	WOOD	7	09,10/A6.01	
119	3'-0"x7'-0"	20 MIN	S.C. WOOD	WOOD	6	09,10/A6.01	
120	3'-0"x7'-0"	20 MIN	S.C. WOOD	WOOD	6	09,10/A6.01	
121	3'-0"x7'-0"	20 MIN	S.C. WOOD	WOOD	6	09,10/A6.01	

5) 1-1/2 PR. HINGES

1 WALL STOP

1 KICK PLATE

6) 1-1/2 PR. HINGES

1 WALL STOP

7) 3 PR. HINGES

1 STOREROOM SET

1 STOREROOM LOCKSET

1 PR. FLUSH BOLTS

2 WALL STOPS

8) 3 PR. HINGES (NRP)

1 PANIC DEVICE

1 THRESHOLD

1 WEATHER STRIP SET

1 CLOSER

1 CLOSER

1 PR. PUSH/PULLS

#### DOOR HARDWARE SCHEDULE

1) 2 PR. PIVOTS

2 PR. PUSH/PULLS 1 DEADBOLT (THUMB TURN

INSIDE) 1 PR. FLUSH BOLTS

2 CLOSERS 1 WEATHER STRIP SET 1 THRESHOLD

2) 2 PR. PIVOTS 2 PR. PUSH/PULLS 2 CLOSERS 1 THRESHOLD

1 WEATHER STRIP SET 3) 1-1/2 PR. HINGES 1 ENTRANCE/OFFICE SET

4) 1-1/2 PR. HINGES 1 PASSAGE SET 1 WALL STOP

1 WALL STOP

\*NRP = NON REMOVABLE PIN

## DOOR SCHEDULE REMARKS

1) ALUMINUM/GLASS STOREFRONT SPECIFICATIONS)

2) SOLID CORE WOOD DOOR WITH

DOOK	OOLILL		110

DOORS (SEE ELEVATIONS AND

TOP HALF GLASS

WINDOW TYPE SYMBOL WINDOW SCHEDULE SIZE GLAZING FRAME DETAILS REMARKS HEIGHT 3'-6" x 6'-0" 8'-0" A.F.F. TINTED, LOW E CLAD 01,02,03/A6.02 Α 3'-0" x 7'-2" 0'-0" A.F.F. CLEAR, TEMPERED WOOD 04,05,06/A6.02 2'-7" x 7'-2" 0'-0" A.F.F. CLEAR, TEMPERED WOOD 04,05,06/A6.02

#### WINDOW SCHEDULE REMARKS

1) TO MATCH APPEARANCE OF EXISTING WINDOWS

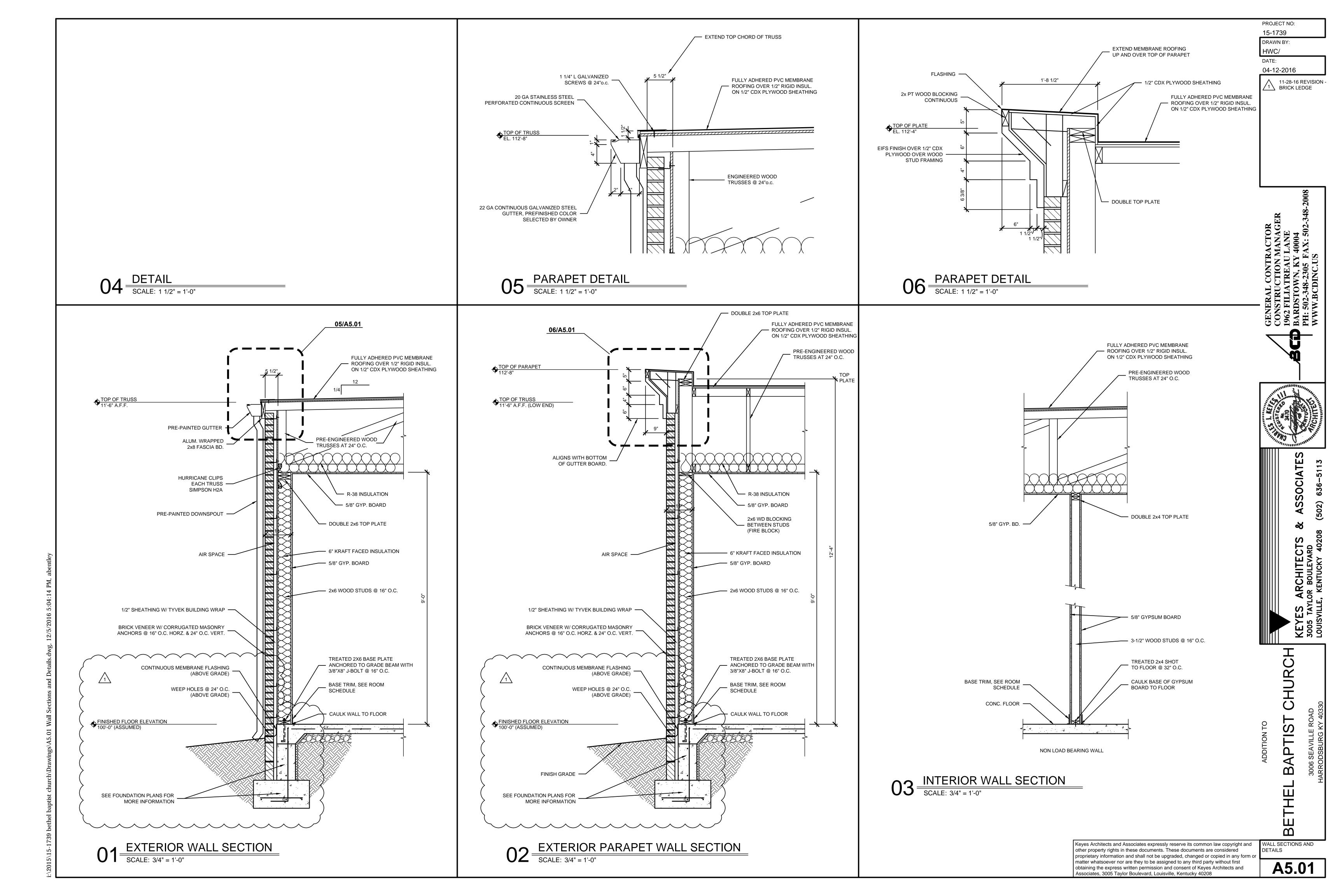
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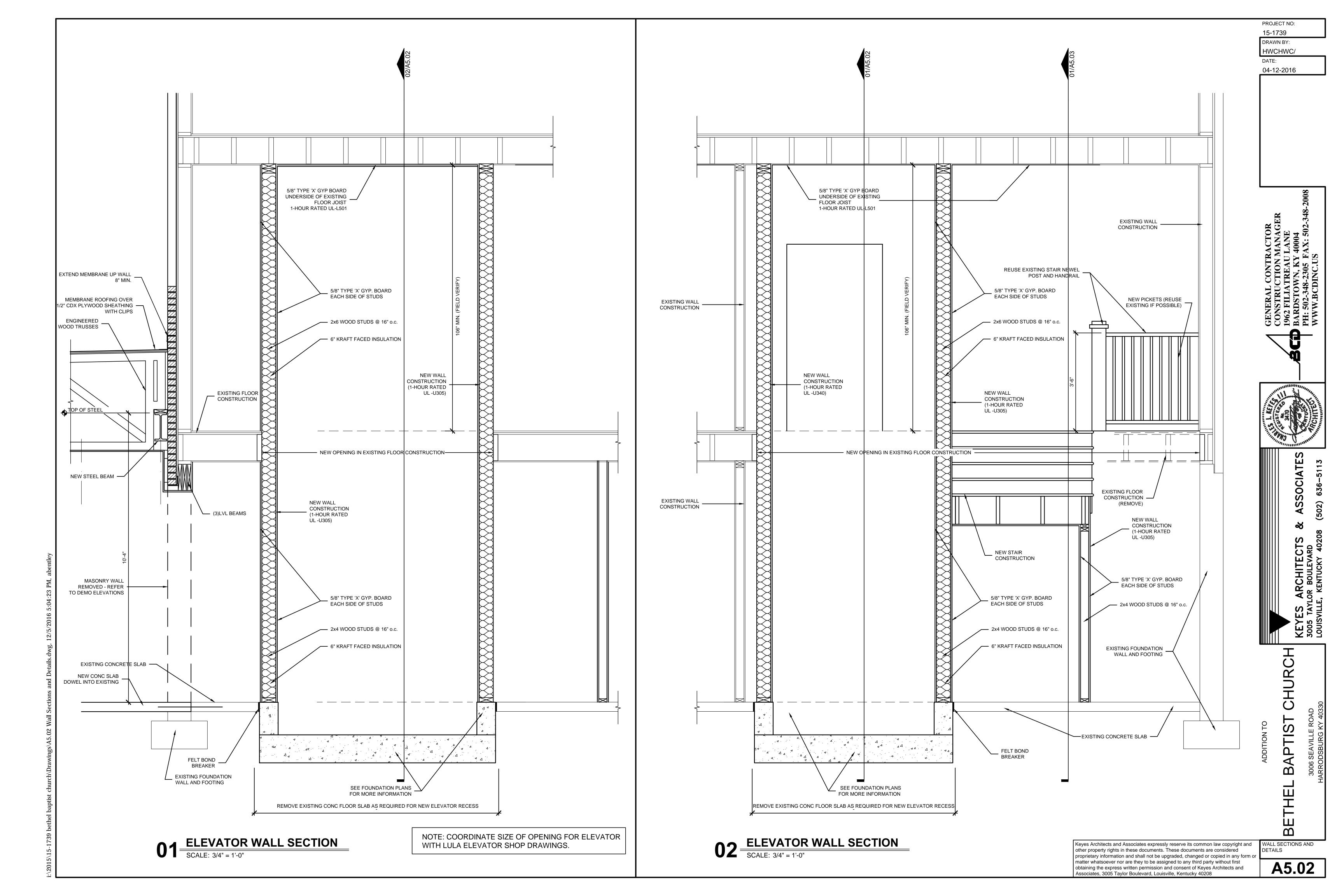
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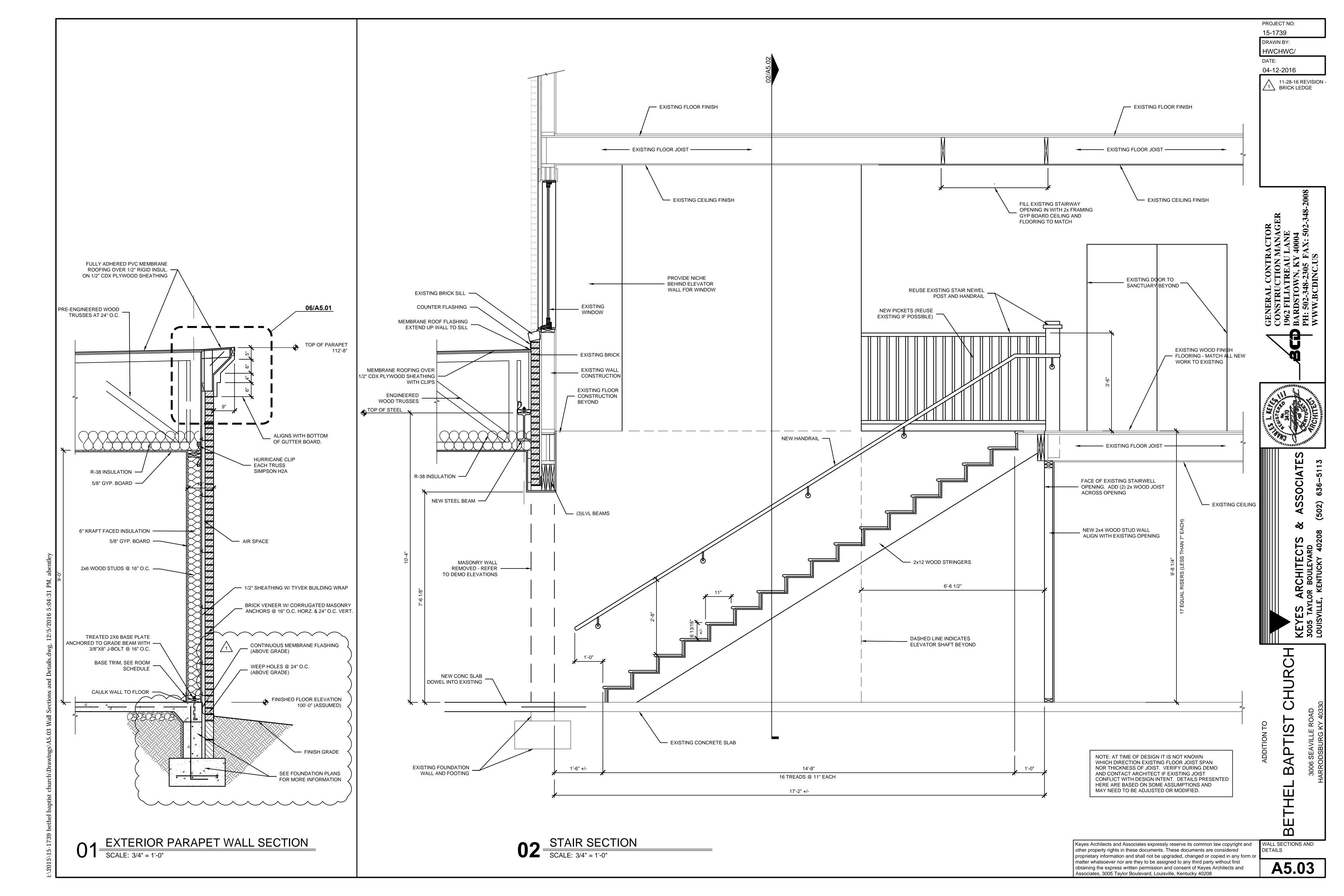


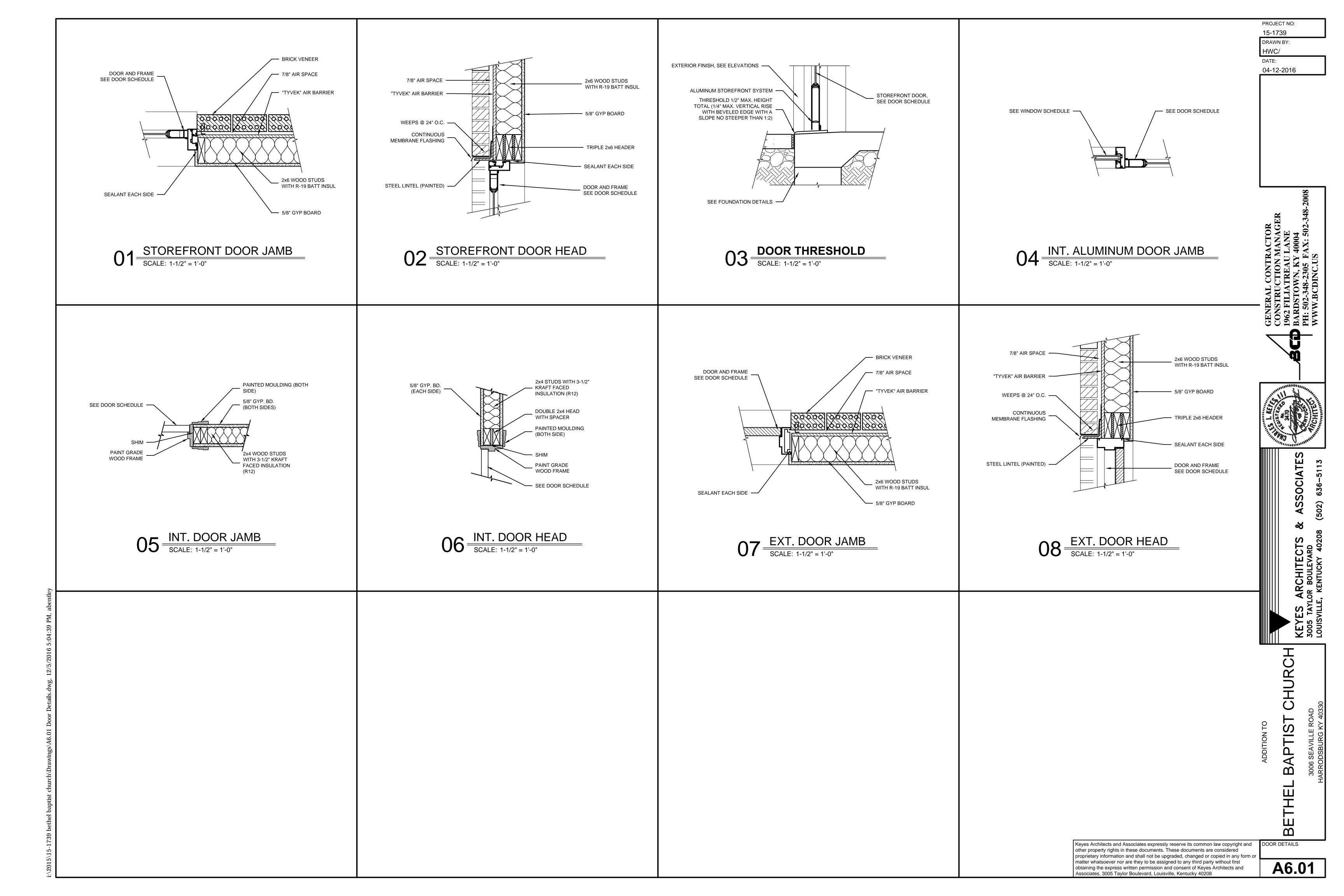


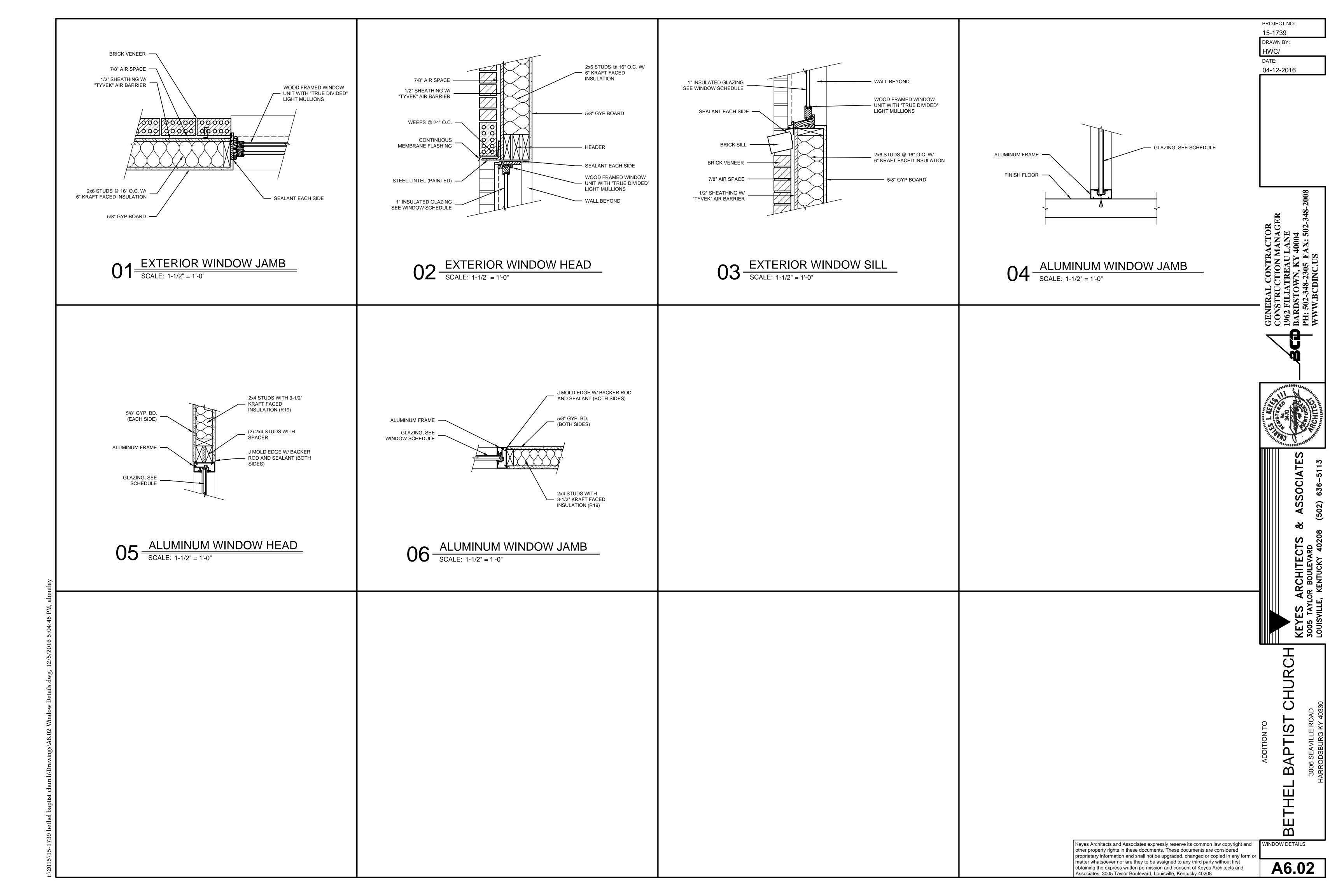
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#### 15-1739

**GENERAL NOTES AND SPECIFICATIONS** 

#### 01000 GENERAL

- A. These drawings and specifications are for general guidance, with the understanding that the Owner will negotiate directly with a contractor for proper execution of work to assure completeness and code compliance.
- B. Contractor's bids to be complete, including all material, labor and facilities required to complete the work shown on drawings and specified herein. Where drawings do not specifically show how work is to be executed, the subcontractor responsible for the work will figure and bid an acceptable method of completing the work.
- C. All contractors to guarantee work for a minimum of one year from date of acceptance, longer guarantees where specified.
- D. Contractor to verify the information contained in the plans, in field (V.I.F.) and notify Architect of any discrepancies.
- E. The Contractor shall carefully study and compare these contract documents and shall at once report to the Owner and Architect any error, inconsistency or omission that may be discovered. Do not proceed with work until clarifications have been made.
- F. Where plans and specifications conflict, specifications shall supersede plans. Where plans and details conflict, the more detailed (larger scaled) item will take precedence.
- G. Contractors are not to scale the plans. Where plans are unclear, verify with architect.
- H. All Subcontractor questions concerning bidding, the drawings, or site visits shall be directed to the General Contractor.
- I. All Subcontractors shall obtain any specific permits and code review for their trade. General Contractor will obtain overall construction permit.
- J. The Owners may have other contractors, workers and suppliers engaged on this project. Verify exact limits of responsibility during bidding and coordinate with all work being conducted under other contracts.
- K. Final Payment of all portions of this project is based upon receipt of lien releases, warranties and maintenance/operations manuals for all items.
- L. Where multiple color, finish, and/or material choices occur on a product in these specifications the following will apply unless specifically listed otherwise. Since every manufacturer is different and the owner can only make these choices after the contract has been awarded, this contract is to include the most restrictive and/or expensive of the choices given so the owner can make a choice at a later time without change orders. Should the owner make a choice that is less expensive than what was bid, then the owner is to be credited back the difference.

#### 01500 DEMOLITIONS

- A. General contractor and sub-contractors shall be responsible for all demolition work unless otherwise noted. All demolition shall conform to O.S.H.A., state and local permit and safety codes.
- B. Verify structural integrity before & during construction. Provide temporary support as required.
- C. Contractors shall provide for dust/debris control, cleanup and protection of other personnel and visitors as needed
- D. Contractor to properly remove all debris and demolished items except items specifically listed to be delivered to owner.
- E. All items or utilities "capped" after demolition shall be in a neat manner, paint to match adjoining or conceal behind finished area. All "capped" items to meet applicable codes.
- F. Remove all unused (or no longer used) brackets, supports, misc. items, and equipment from the project areas. This includes all electrical, HVAC and plumbing items. As directed herein, turn over specific items to owner and dispose of all others.

#### 02000 SITE-WORK/FOUNDATIONS

- A. Perform all excavations, backfilling and grading, as well as paving, required to complete work shown. Contractors shall take this data and submit in their bid any changes necessary for completion of the project. Provide positive drainage throughout the site from the parking areas and away from the building.
- B. Protect against damage to any lawns, shrubs, trees, roads, walks, signs, underground tanks etc., and other work that is to remain in place.
- C. Materials to be excavated are assumed to be earth or other materials that can be removed by power shovel or other normal excavating equipment, but not requiring the use of explosives or drills. If other is encountered within the limits of the excavation, notify Architect immediately.
- D. Suitable bearing for foundations and construction areas: All column footings shall bear directly on undisturbed soil. Assumed bearing capacity as indicated by Owner is 2,000 lbs. s.f. If this bearing capacity is not encountered at the depth shown on drawings, the contractor will notify the Owner to establish additional volume of excavation. Building slab areas, drives, walks and parking areas that require undercutting or fill are to be backfilled with lean clay or granular fill, uniformly compacted to at least 95% standard proctor (ASTM D698). Periodic field density testing to be performed during construction if required and paid for by the Owner.
- E. General Contractor to include additional cost breakout in initial bid for either the trench excavation or mass excavation of rock if it is determined to be necessary. Bid to include all markup, overhead, disposal and grading at lower areas of this site.
- F. Furnish and install all site items as shown on the drawings.
- G. Furnish and install sod within 3' of all concrete walks and building areas. Seed and straw all other disturbed earth areas.
- H. Contractor to include all erosion control measures necessary.
- I. Foundation excavation.
- 1. Follow OSHA and local requirements for determining the angle of repose. No angle of repose can be assumed when soil is under adverse moisture conditions. Use forms where concrete surfaces are shown vertical or steeper than the angle of repose.
- 2. Cut earth neatly for grade beams and footings, excavate by hand if necessary, to remove all loose material and disturbed earth.
- 3. Replace disturbed earth and over-excavated locations with fill concrete.
- 4. Keep excavations constantly shored and dewatered.
- 5. Pour footings only after excavations have been individually inspected and approved.
- After inspection and approval, place concrete promptly before any change in excavation conditions occur.
- J. Trenching and backfilling for drain pipes.
- 1. Direction: Commence from low point so excavation and pipe can be kept drained at all times.

- 2. Width: Sufficient to make joints and compact backfill under pipe.
- 3. Pipe support: final excavation to be done by hand so pipe rests continuously on solid earth except where backfilled with cement stabilized sand.
- 4. Backfilling: After placing pipe, immediately place some backfill to hold the pipe; compact sufficient backfill under the pipe to hold it securely against any possible movement: do not cover until inspected.
- K. All existing excavated material that cannot be used as fill will be wasted on site in areas as directed by owner. The material will be spread, compacted, smoothed and disced. Seed and Straw as indicated above.

#### 03000 CONCRETE

- A. To be dimensions shown on drawings, reinforced as detailed.
- B. Concrete shall develop a minimum compressive strength of 3500 psi at 28 days.
- C. Reinforcing steel shall be A615-83 Grade 60. Contractor may use Fibermesh equivalent reinforcing at slabs on grade, but elevated slabs must have wire reinforcing as shown.
- D. Materials and construction methods shall conform to the latest requirements of ACI 318-83.
- E. All exposed 90-degree edges of vertical and horizontal corners of concrete shall have tooled edges, unless indicated otherwise.
- F. Welding of or to reinforcing bars without prior approval of engineer is prohibited except where specified on the drawings.
- G. All reinforcing bars are to be supported in the form and spaced with wire bars supports meeting the requirements of the ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structures" (ACI 315-latest edition).
- H. All detailing, fabrication and erection of reinforcing bars, unless otherwise noted, must follow the ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structures" (ACI 315-latest edition).
- I. All interior floor slabs to receive smooth trowel finish. Exterior concrete drives, walks and stoops to be broom finished, unless noted otherwise. Concrete walks shall have molded expansion joint material as shown. Final joint layout to be approved by Owner.
- J. Control joints (C.J.) shall be saw cut a minimum of 1/4 of slab thickness and with a maximum spacing as shown on the drawings.
- K. Isolation joints (I.J.) if required shall receive 1/2" thick expansion joint filler extending from bottom of slab to 1/2" below top of slab and the top 1/2" filled with Polyurethane joint sealant, unless otherwise noted.
- L. Construction joints (Const. J.), if required, shall be formed using "Key-Loc Joint System" manufactured by Form-A-Key.
- M. All dimensions and grades shall be verified in the field (V.I.F.) by the contractor and any discrepancies or interferences shall be reported to the Architect before proceeding with affected work.
- N. Where shown, all junctions of walls, piers and floors to have 1/2" wide expansion joints, filled with elastic expansion joint material.
- O. Exposed piers and foundation walls to have rubbed finish.
- P. All concrete slabs to receive "Cure-N-Seal" applied per manufacturer's recommendations for the floor finish expected.
- Q. Concrete Contractor to place all exterior equipment pads unless otherwise directed during bidding. Coordinate final size, details and locations with the applicable subtrades.

#### 04000 MASONRY

- A. Mortar to be type "M or S" complying with ASTM C-90-97.
- B. Masonry subcontractor to be responsible for water-tightness of his work.
- C. At all concrete masonry units use truss type, galvanized reinforcing at every second course (every course below floor line). Use #9 wire Durawall.
- D. Mortar joints: Provide 3/8" thick joints between units with full mortar coverage on the vertical and horizontal face shells only, except for this first bed course shall be laid in a full mortar bed.
- E. In veneer walls, furnish and install galvanized, corrugated masonry anchors at 16" O.C. Horz. And 24" O.C. Vert. Also at each side of control joints.
- F. Concrete block to be standard common light weight concrete masonry units in 4", 6", and 8" thicknesses.
- G. Workmanship, including joint reinforcement and cold weather installation shall comply with National Masonry Associations applicable recommendations.
- H. Masonry contractor to brush clean final surfaces and prepare exterior faces for paint or sealer as called out.
- I. Provide continuous membrane flashing and weep holes at maximum 24" on center along bottom row, at
- J. Provide control joints as indicated on elevations, with backer rod and paintable elasomeric caulk.
- K. Provide manufactured smooth face or split face corner block toothed in at front corners, as required.
- L. Brick to match existing in color and texture.

#### **05000 METALS**

- A. Provide structural and miscellaneous metal items as shown on drawings, and as required to complete the project.
- B. Furnish shop drawings to satisfy local code requirements, fabricate materials and install all metal work as needed. This shall include structural steel and miscellaneous steel items.
- C. Take field measurements prior to fabrication. Subcontractor shall be responsible for the accuracy of all such measurements and the precise fitting and assembly of the finished products.
- D. Miscellaneous Items:
- 1. Steel Plates, Shapes and Bars: ASTM A-36.
- 2. Steel Tubing: Cold formed, ASTM A-500; or hot-rolled, ASTM A- 501.
- 3. Structural Steel Sheet: Hot-rolled, ASTM A-570; or cold- rolled ASTM A-611, Class 1; or grade required for design loading.
- 4. Non-Shrink Metallic Grout: Pre-mixed, factory-packaged, non- staining, non-corrosive, non-gaseous grout complying with CE CRD-C588. Provide grout specifically recommended by manufacturer for interior and exterior applications.
- 5. Fasteners: Zinc-coated fasteners for exterior use or where built into exterior walls. Select fasteners for the type, grade and class required.

#### 6. Fabrication:

- a) Use materials of size and thickness indicated or, if not indicated, as required to develop the maximum loads in the member.
- b) Weld corners and seams continuously, complying with AWS recommendations.

- c) Provide for anchorage of type shown, coordinated with supporting structure. Fabricate and space anchoring devices to provide adequate support for intended use.
- 7. Shop Painting:
- a) Clean and Shop paint miscellaneous metal work, except members or portions of members to be embedded in concrete or masonry, surfaces and edges to be field welded unless otherwise indicated.

#### 8. Rough Hardware:

- a) Furnish bent or otherwise custom fabricated, plates, anchors, hangers, dowels and other miscellaneous steel shapes as required.
- 9. Bearing and Leveling Plates:
- a) Provide loose bearing and leveling plates for steel items bearing on masonry, concrete construction, or other portions of the structure as indicated.
- 10. Miscellaneous Framing and Supports:
- a) Provide miscellaneous steel elements, framing and supports that are not a part of structural steel framework, as required to complete the work.
- 11. Execution:
- a) Provide anchorage devices and fasteners where necessary for securing miscellaneous metal fabrications to in-place construction; including, threaded fasteners for concrete and masonry inserts, toggle bolts, through-bolts, lag bolts, wood screws and other connectors as required.
- b) Provide A-325 bolts as shown on the plans or as required to develop the maximum capacity of the connection shown
- c) Perform cutting, drilling and fitting required for installation of miscellaneous metal fabrications.
- d) Field Welding shall comply with AWS Code for procedures of manual shielded metal-arc welding, appearance and quality of welds made, and methods used in correcting welding work.

#### 12. Setting Loose Plates:

- a) Set loose leveling and bearing plates on wedges, or other adjustable devices. After the bearing members have been positioned and plumbed, tighten anchor bolts. Do not remove wedges or shims, but if protruding, cut-off flush with the edge of the bearing plate before packing with grout. Use metallic non-shrink grout in concealed locations where not exposed to moisture; use non-metallic non-shrink grout in exposed locations, unless otherwise indicated.
- b) Pack grout solidly between bearing surfaces and plates to ensure that no voids remain.
- 13. Adjust and Clean:
- a) Touch-Up Painting. Immediately after erection, clean field welds, bolted connections, and abraded areas of shop paint, and paint exposed areas with same material used for shop painting. Apply by brush or spray to provide a minimum dry film thickness of 2.0 mils.

#### 06000 CARPENTRY

- A. All wood in contact with concrete or masonry or to be exposed on the exterior to be pressure treated against decay and insects.
- B. Carpenter shall furnish all necessary blocking and grounds for all tops, cabinetry items, handrails, casework and other miscellaneous items as may be needed.
- C. Carpenter to furnish & install all moldings, trim work and finish hardware (at windows, doors, handrails, and platform areas). Exposed wood trim and moldings to be paint grade spruce or fir, (finger joints allowed)
- D. Furnish and install all rough & finish carpentry including rough hardware, form work indicated and required to complete the project.
- E. Wood framing is to follow good practice and code requirements for fire blocking and wood blocking. Verify fire blocking requirements with the building inspector before completing the frame work.
- F. Provide bridging at all exterior walls and interior load bearing walls, at midpoint of walls for walls up to 9'-4" high, at 1/3 points for walls 9' 12' high, and at 1/4 points for walls up to 13'-4" high. The bridging shall be 2 x 6 or 2 x 4 as appropriate, matching the studs used in the remainder of the wall.
- G.Framing contractor is responsible for bracing required to resist seismic, wind, and live loads specified and required by I.B.C. Provide let-in and G.W.B. bracing as noted on Sheet Set.
- H. Remove all wood including form lumber, scrap lumber, shavings, and sawdust in contact with the ground. Leave no wood buried in any fill.I. All lumber and plywood shall be graded and marked in accordance with the latest grading rules of the

Manufacturer's Association having jurisdiction. Plywood decking shall be tongue and groove or to be

- blocked at all joints, and to be glued to all supporting members.

  J. All materials shall be delivered and stored to insure proper protection from damage. All material shall be
- well seasoned.

  K. Framing lumber to be stress graded lumber (1250 f. Minimum) #2 yellow pine or equal of other species

of the following minimum unit strengths in #'s per SQ. IN: FB = 1,200; H = 105; C (perpendicular) = 390;

(compression parallel to grain) C= 900; and E = 1,760,000.
L. Studs & Plates to be furnish and install as specified, detailed and required. Materials shall be straight and without defects that will impair the strength or alignment. Double studs at openings, triple at corners. Double top plates (2) 16d through bottom top plate to studs. Secure upper member of top plate with (2)

10d at each end and 16d at 16" o.c. staggered. Double members secured with 16d at 12" o.c. staggered.

- M.Exterior O.S.B. sheathing to be nailed to stude at 12" o.c. staggered.
- N. Joists set with crown up. Double at openings, unless noted to be greater. Double members secured with 16 d at 6" o.c. staggered. Laps over supports secured with a minimum of (4) 10d, (3) 20d through header into joists ends. Block solidly at plywood joints.
- O. Header beams for openings in wood framed walls are to be double members with 1/2" plywood between as follows: (2) 2 x 4's for openings 30" wide or smaller, (2) 2 x 6's from 30" up to 48" wide, (2) 2 x 8's from 48" up to 72" wide, and (2) 2 x 10's from 72" up to 96" wide. Framing for openings wider than 96" must be coordinated with the architects.
- P. On exterior framing use galvanized, electroplated 16d nails. Interior nails are to be common coated 16d nails unless otherwise notes.
- Q. Trusses or pre-engineered joists are to be of profile shown on building sections and details. Number of panels points, member sizing, grade, and species as designed by the truss manufacturer. The design is to be the responsibility of the manufacturer, who is responsible for meeting all requirements of I.B.C. This includes the truss girders required at spans as shown on Sheet Set. Proper installation and anchoring of all members and anchoring of the trusses for adequate strength are the responsibility of the framing contractor. Design of all trusses and joists are to be based on maximum deflection of L/360. Bearing web members of floor trusses are to be designed to carry the axial load of the stud wall above. Design is to include sizing and spacing of bracing members.
- Trusses are to be designed to the following minimum loads:
- (NOTE: Greater snow loads required at valleys, roof level changes, etc. per I.B.C. Code requirements supersedes these loads.)

#### Roof Trusses

Wind Load 1

bw Load 20 psf plus snow load build-up at valleys and roof level changes per I.B.C. plus roof top

equipment as directed by the Contractor.

Top Chord D.L.10 psf

Bottom Chord D.L. 5 psf
Uplift 12 psf (9 in excess of D.L.)

The manufacturer is to provide shop drawings and structural calculations stamped by a Kentucky registered structural engineer before fabricating the trusses. Design of trusses and handling and erection of trusses, including temporary and permanent bracing, is to follow the latest edition of the specifications

of the Truss Plate Institute. Refer to Section 1.b of these specifications with regards to inconsistencies.

#### 07000 MOISTURE PROTECTION

#### A. Insulation:

- 1. Roll glass fiber insulation to be thickness and type shown on drawings for specific uses, to be "Fiberglass" or "Celotex".
- 2. Rigid below grade insulation at foundation and basement walls to be extruded, expanded polystyrene 1 1/2" thick (R-value: 7.5), unless otherwise noted on the plans.

#### B. Caulking:

- Use Sherwin Williams 950A siliconized acrylic latex caulk, GE Silicone II or approved equal. Color to match surrounding area being caulked. Caulk all exterior joints and both sides of all door and window frames.
- 2. All Equipment, Mechanical, Plumbing and Electrical Contractors shall supply all flashings and curbs for roof or wall penetrations to the building erector. Building erector shall furnish, install and flash all building penetrations as part of their bid project.
- 3. All exterior basement walls to receive exterior rubberized asphaltic damp proofing system. Acceptable systems to be by Hydrotech, Hydro-Shur, Grace, Mar-Flex or approved equal. Entire system to be installed per manufacturers recommendations.
- 4. Where called out on the drawings, fire caulk to meet all ASTM requirements for fire and smoke barrier. Product to be 3M Fire Barrier Sealant CP 25WB+ or equal.
- C. All exterior masonry to receive stain or sealer and paint as per finishes in section 9,000.

#### 07240 - EXTERIOR INSULATION & FINISH SYSTEM (E.I.F.S. - Class PB)

- A. Exterior Insulation and Finish System (E.I.F.S.) consisting of Expanded Polystyrene Insulation (EPS) Board, Adhesive, Cementitious Base Coat with embedded Reinforcing Fabric Mesh, Primer (Optional), and Finish Coat. System to be by Parex, STO, Dryvit or approved equal.
- B. Flashing shall be continuous and watertight. Flashing shall be designed and installed to prevent water infiltration behind E.I.F.S.
- C. Substrate Systems
- 1. Shall be engineered to withstand applicable design loads.
- Maximum deflection under positive or negative design loads of substrate system shall not exceed 1/240 of span except as otherwise approved in writing by Keyes Architects and Associates before installation.
- 3. Substrate dimensional tolerances to be flat with 1/4 inch within any 4-foot radius.
- 4. E.I.F.S. Standard System shall be classified in accordance with EIMA for E.I.F.S. classification and impact ranges of 25-49 inch-lbs. Impact Range.
- 5. Continuous expansion joints shall be installed at locations as shown and in accordance with manufacturer's recommendations.
- 6. Substrate movement and any expansion or contraction of E.I.F.S. and adjacent materials shall be taken into account in design of expansion joints. Proper consideration should be given to sealant properties, installation conditions, temperature range, coefficients of material expansion, joint width to depth ratios, and other material factors. Minimum width of expansion joints shall be as recommended by E.I.F.S. manufacturer.
- 7. Entire system shall be acceptable for use on this project by the building code department that has
- D. Comply with manufacturer's instructions for installation of exterior insulation and finish system.

# 07250 WEATHER BARRIER - VAPOR BARRIER

- A. Building vapor barrier to be commercial grade weather barrier Tyvek CommercialWrap by Dupont or approved equal. All joints are to be lapped minimum 3" and taped as specified by manufacturer. All penetrations are to be taped around entire perimeter.
- B. Tape to be 3" wide Tyvek Tape for commercial applications by Dupont or approved equal.
- C. Barrier to be anchored in wood by 1" plastic caps fasteners with min 5/8" penetration. Barrier to be anchored in metal by 1-5/8" rust resistant screw with 2" plastic cap.

#### 07260 REINFORCED VAPOR RETARDER

ordering the roof components.

A. Reinforced vapor retarders for roof deck applications are to be Griffolyn Type-65 by Reef Industries or Approved Equal. Retarder to be installed on the underside of all roof trusses or floor joists where exposed to the elements above and conditioned below. Retarder only required when insulation is not suspended by Gypsum Board or other approved vapor retarder. All joints are to be lapped minimum 3" and taped as specified by manufacturer. All penetrations are to be taped around entire perimeter.

B. Tape to be 3" wide Griffolyn Fab Tape for commercial applications by Dupont or approved equal.

- C. Barrier to be anchored in wood by 1" plastic caps fasteners with min 5/8" penetration. Barrier to be anchored in metal by 1-5/8" rust resistant screw with 2" plastic cap.
- 07500 ELASTOMERIC SHEET ROOFING (EPDM)A. Contractors shall field verify all conditions and submit shop drawings for all details and material before
- B. System to be Versico talc-free black 45-mil EPDM Membrane System installed over 1/2" recovery board and metal batten strips as required or approved equal.
- C. System and application shall exceed all State Building Codes, local ordinances and these construction documents.

D. Install additional blocking and nailers as required, Grade #2 or better lumber, pressure-treated for fire

and rot resistance with a salt-based preservative (Wolmanized). (Creosote and asphaltic-based

preservatives are not acceptable.)

E. Install flashing as required by the manufacturer's details and contract drawing details.

#### 08000 DOORS AND WINDOWS

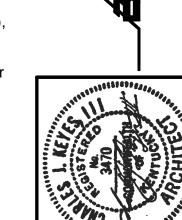
PROJECT NO: 15-1739

DRAWN BY:

04-12-2016

p HWC/ DATE:

ENERAL CONTRACTOR
ONSTRUCTION MANAGER
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ASSOCIATES

'ES ARCHITECTS & TAYLOR BOULEVARD

TIST CHURC

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SPECIFICATIONS

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 $\Box$ 

SP1.01

- B. All glazing to comply with safety glazing laws. Installer to verify requirements before ordering and installing all glazing.
- C. Exterior storefront door shall be grey or bronze tint glazing (as selected by owner), 1" insulated, in thermally broken aluminum frames. Frames to be black, bronze, white or clear anodized (as selected by owner). System to be "Kawneer 451T" or equal. Glazing contractor shall be responsible to securely anchor units to framing or masonry as needed to transfer loads to the building.
- D. Wood doors shall be 1 3/8" solid core (particle bd. core) pre-hung, as indicated with flush stain grade veneer. Doors to be job stained and sealed, color as selected.
- E. All exterior outward swinging hinged doors are to have Non-Removable Pin (NRP) hinges, unless otherwise specified on the drawings.
- F. Exterior clad windows to be fixed, double hung or double casement units as shown on plans. Windows to be by Anderson, Pella, Marvin, or approved equal. All units to have clear insulated glazing with Low-E coating and argon filled. Install per manufacturer's instructions and recommendations.

#### 09000 FINISHES

- A. All finishes shall be as called for and specified on drawings.
- B. All gypsum board to be 5/8" thick install per U.S. Gypsum assoc. standards. Use "green" board in all toilet rooms and within 4'-0" of all sinks. Furnish and install metal corner bead at all outside corners and "J" mold at all exposed edges.
- C. Vinyl base to be 4" high, 1/8" thick. Use coved at vinyl floor tile and coveless at carpet. Stairs shall receive Vinyl treads and backs, treads shall have replaceable slip resistant strips at nosings. All material shall be by Johnsonite, Roppe or approved equal. Colors as selected by Owner from standard architectural line. Installed per manufacturer's instructions.
- D. VCT Floor Tile to be 1/8" x 12" x 12" by Azrock or approved equal. Owner to select maximum of three colors from full architectural line.
- E. Floor transitions shall be vinyl as recommended for the specific material transitions. Material shall be by Johnsonite, Roppe or approved equal selected from full architectural color lines.
- F. Coating Schedule:
- 1. Surfaces not to be painted are as follows: floor coverings; items with factory applied final finish; concealed ducts; pipes and conduit; acoustical ceiling tiles, items with pre-finished surfaces, aluminum windows and door frames and all items called not to be painted on plans.
- 2. Surfaces to be painted: Note: consult with Owner for final colors and finishes.
- a) Exposed interior Drywall (eggshell or Alkyd based enamel where shown):

3rd coat: Latex eggshell or Alkyd based enamel as called for.

1st coat: Latex Wall Primer.
2nd coat: Latex eggshell or Alkyd based enamel as called for.

b) Interior Drywall Ceilings (if shown):

1st coat: Latex Wall Primer
2nd coat: Alkyd Flat Ceiling Paint

c) Interior Wood or Masonite (Painted):

1st coat: Wall and Wood Primer 2nd coat: Semi-Gloss Alkyd Enamel 3rd coat: Semi-Gloss Alkyd Enamel

d) Interior Wood (Stained):

1st coat: Interior Wood Stain 2nd coat: Gloss Polyurethane (sand between coats) 3rd coat: Gloss Polyurethane

e) Interior Metal:

1st coat: Metal Primer 2nd coat: Semi-Gloss Alkyd 3rd coat: Semi-Gloss Alkyd

f) Exterior Metal:

1st coat: Metal Primer 2nd coat: Semi-Gloss Alkyd Enamel 3rd coat: Semi-Gloss Alkyd Enamel

#### 10000 SPECIALTIES

A. Fire extinguisher and cabinets to be by owner as required by code and by the fire inspector.

B. Toilet accessories: Refer to drawings for list of accessories.

#### 10650 PLASTIC LAMINATE TOILET PARTITIONS

- A. All plastic laminate partitions to be equal to Bobrick Floor Mounted #1042 Series. Provide handicapped systems as required.
- B. Partitions to be as shown on plans. Colors to be selected from Wilson Art or approved equal standard line by owner.
- C. All Hardware and fittings to be standard Type 304 stainless steel hinges, keeper, lift-free latch and coat hook (shall be supplied with partitions).
- D. Perform final adjustments to leveling devices and hardware. Clean exposed surfaces and partitions, hardware, fittings, and accessories.

#### 12000 FURNISHINGS

A. Owner to furnish and install all furnishings not required or listed herein.

#### 14000 CONVEYING SYSTEMS

- A. The product described herein, manufactured by Savaria (Nationwide Lifts) is an elevator designed to and dimensioned to provide Limited Use/Limited Application (LULA) elevator to suit individual building requirements for use by persons with disabilities.
- B. System Description: 5 hp submersed motor and pump with electronic proportional valve assembly; programmable logic controller with collective operation; 1:2 roped hydraulic single stage cylinder with line rupture valve.
- C. Rated load of 1,400 lbs. Rated speed of 30 fpm.
- D. Car walls to be steel panels (architectural white) with raised plastic laminate panels (owner to select). Car lighting to be four recessed lights. Car operating panel to be brushed stainless steel with illuminated automatic controls, keyed light switch, emergency stop switch and alarm button.

- E. Car doors shall be fully automatic, side opening, sliding car door with electromechanical interlocks, obstruction sensor, and automatic re-open system.
- F. Hoistway doors shall be 1 ½ hour fire rated fully automatic side opening, sliding hoistway doors with two side opening panels in steel frame with electromechanical interlocks.

G. Handrail shall be stainless steel.

- H. Provide Pit switch.
- I. Manufacturer shall be Orion Commercial LU/LA elevator manufactured by Savaria, or approved equal.
- J. Material shall be Guide Rail, Dual 8 lbs.ft. machined steel T-rail system. Wire rope shall be two 3/8" diameter 7 x 19 ga. IWRC aircraft cables with rope wedge sockets. Sling shall be structural and formed steel plates with guide shoes. Platform Floor shall be unfinished plywood flooring.
- K. The electrical contractors shall provide 208V three phase 30 amp 60 Hz or 230V single phase 40 amp 60 Hz source in the machine area with manually operated fused line disconnect. 115 VAC, single phase power source with manually operated fused line disconnect for car lighting and a light outlet inside the hoistway. Telephone circuit in the machine area.
- L. Installers shall be experienced in performing work of this section who have specialized in work comparable to that required for this project. Installers shall be certified and trained by the manufacturer.
- M. Contractor responsible for coordinating all inspections with applicable state and local code inspectors.

#### 15000 PLUMBING

- A. This project requires new waste and potable water systems, Contractors to tie sanitary lines into new/existing septic system by owner or owner's representative. Verify location and existing conditions before starting work.
- B. Subcontractor's bid to be complete, include all material, labor and facilities required to complete the work shown on drawings and specified herein to create a complete working system. Where drawings do not specifically show how work is to be executed the subcontractors responsible for the work will figure and bid acceptable method of completing the work.
- C. Included in bid to be all plumbing site-work required to complete the job, including tap-in fees and permits.
- D. All plumbing systems to be complete including, but not limited to the Backflow, preventers, waste, vent, cold water, hot water fixtures and fittings.
- E. All work, material, fixtures, design and products shall conform to the latest edition of the Federal, State and Local Plumbing Codes. Include all items required by code whether shown or not
- F. Systems to be sized for all fixtures and equipment as shown on plans.

G. Handicapped fixtures to be used where shown on plans.

- H. Design submittal drawings, riser diagram, and obtaining agency approvals are responsibility of the subcontractor.
- I. Plumbing Contractor shall visit site, review all drawings and confirm location and adequacy of sewer, gas and water connections with owner and local governing authorities during bidding.
- J. Plumbing Contractor to include extension of natural gas system, piping, fitting and hook ups.
- K. Plumbing contractor to review H.V.A.C. sheets for gas piping requirements of heating equipment. Size work for these loads plus existing loads as required and shown on Plans.
- L. All condensate piping for the H.V.A.C. systems is by plumbing contractor.
- M.Plumbing contractor shall coordinate the installation as needed to avoid conflict or interference of all other trades.
- N. Plumber to install domestic water suppression system in all mechanical and storage rooms as required to meet state building code and N.F.P.A. standards.
- O. Where plans and specifications conflict, plans will supersede specs.
- P. See plans for plumbing fixture schedule.

#### 15100 H.V.A.C.

- A. All condensate and gas piping by HVAC contractor.
- B. Subcontractor's bid to be complete, include all material, labor and facilities required to complete the work shown on drawings and specified herein to create a complete working system. Where drawings do not specifically show how work is to be executed the subcontractors responsible for the work will figure and bid acceptable method of completing the work.
- C. Furnish combustion air per section M-610, latest B.O.C.A. code.
- D. Furnish heat detectors in return ducts for each unit if required per N.F.P.A.
- E. All wiring associated with the installation shall conform to the National Electric Code. All control wiring to be in EMT inside; steel conduit outside.
- F. Where applicable, materials used in this system shall have a maximum flame spread rating of 25; a maximum smoke developed rating 50.
- G. All systems to conform to N.F.P.A. 88B, 90A, 90B, 91 and 101.
- H. Toilet exhaust quantities to conform to State Building Code. Furnish and install roof mounted exhaust fans and other systems.
- I. This plan has been reviewed only for general compliance with the building codes. It shall be the heating contractor's responsibility and a condition of his contract with the general contractor to properly install all systems in accordance with the codes and for proper comfort and work ability.
- J. Contractor to gather and verify field information required to design and complete construction work. Notify owner of items that are different from that shown on drawings. Check space above ceilings before fabrication to be sure ducts can be installed. Coordinate and Schedule all work so ductwork and main systems are installed in tight spaces with a minimum of difficulty.
- K. Furnish full parts and labor warranty for one year starting at date of acceptance of system by owner. Compressors to be warranted for five years.
- L. Duct tape is not acceptable. Diffusers to be symmetrical with ceiling and light layout.
- M.Refrigeration lines to be insulated ACR copper with silfos joints protected by a nitrogen purge during brazing. Install suction line filter drier on compressor and a sight glass with moisture indicator at evaporator.
- N. H.V.A.C. contractor to furnish dimensions and sleeves or actual items to be installed in walls to the appropriate trades for installation. If H.V.A.C. items or sleeves are not furnished, appropriate trades will perform the work later & back charge H.V.A.C. contractor.

#### 16000 ELECTRICAL

A. Subcontractor's bid to be complete, include all material, labor and facilities required to complete the work shown on drawings, specified herein and as required by federal, state and local codes to create a complete working system. Where drawings do not specifically show how work is to be executed the

- subcontractors responsible for the work will figure and bid acceptable method of completing the work to provide proper design and work ability. Provide a complete electrical system as indicated on the drawings and described herein. Furnish "as built" drawings on completion.
- B. Electrical work shall comply with the National Electric Code as well as State and Local governing codes.
- C. Pay for permits and inspections and provide a certificate of inspection.
- D. Materials shall be new with manufacturer's name printed thereon and Underwriter's Laboratory listed. The selection of materials and equipment to be provided under this contract shall be in strict accordance with the specifications and drawings.
- E. Identify disconnect switches with permanent nameplates with 1/4" minimum height letters.
- F. Electrical contractor to coordinate all layout, equipment and work with other trades as will be required for smooth operation and a complete job. Any cutting and patching of walls or floors shall be the responsibility of this contractor to repair.
- G. Disconnect switches shall be ITE general duty type in NEMA-1 enclosure. Equivalent Square D or Arrow-Hart is acceptable. Switches shall be quick-make, quick-break, externally operated and interlocked
- H. Switches shall be Hubbell 1221-1 single pole or 1223-1 three way. Duplex receptacles shall be Hubbell 5265-1. Sierra, Arrow-Hart and Bryant shall be considered as equal. Ground fault interrupting receptacles shall be Hubbell 5262-GR.
- I. The electrical service at the site shall be verified by this contractor prior to bidding job. This contractor shall provide conduit, cable, concrete, connections and other equipment required. This contractor shall verify utility requirements and charges prior to bidding and include such in bid.
- J. For service and panel feeder wiring, use Type THW cable. Use THHN cable for interior branch circuit wiring except as noted. Design is based on copper conductors. Minimum #12 AWG. Wiring shall be of conduit or flexible cable. Splice wires #6 AWG and larger with approved solderless connectors such as Ilsco properly taped and insulated. Splice smaller wires with mechanical connectors such as "Scotchlock".
- K. Provide heavy wall conduit for service and panel feeder conduits where exposed to elements. Fittings shall be P.V.C. or threaded, set-screw type with insulated throats. Furnish code-approved conduit for interior wiring where physical damage is not a consideration. Minimum conduit size is 1/2" except for flexible runouts to fixtures, motors, etc., which may be 3/8". Conduit shall be concealed wherever possible and shall be run parallel or perpendicular to building walls and ceilings. Conduit installed in or below floor shall be galvanized rigid conduit.
- L. Provide structural framework and hanging rods with braces and accessories where required to hold equipment in final position.
- M.Provide fixtures as listed on drawings. Provide necessary mounting hardware for a complete installation. Provide lamps, ballasts and special controls.
- N. Electrical contractor to provide temporary service as required for this project. Also, coordinate and provide for switch over of power for new building, site and canopies.
- O. This contractor shall guarantee work installed under the contract to be free from the defective workmanship and materials. Usual wear expected, and should any defects develop within a period of one year after acceptance of the building by the Owner, this contractor shall repair and/or replace any defective items and damage resulting from failure of these items at no expense whatsoever to the Owner.

### END OF SPECIFICATIONS

PROJECT NO: 15-1739

DRAWN BY:

HWC/

DATE: 04-12-2016

GENERAL CONTRACTOR CONSTRUCTION MANAGER 1962 FILIATREAU LANE BARDSTOWN, KY 40004 PH: 502-348-2305 FAX: 502-348-20

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& ASSOCIATES

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3005 TAYLOR BOULEVARD

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SPECIFICATIONS

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