

UTILITY OWNERS:

ELECTRIC:
 PADUCAH POWER
 1500 BROADWAY STREET
 PADUCAH, KY 42001
 CONTACT: KERRY FULCHER
 PHONE: 270-210-4579

TELEPHONE:
 AT&T
 810 KENTUCKY AVENUE
 PADUCAH, KY 42001
 CONTACT: ALAN SHELLEY
 PHONE: 270-444-5048

CABLE:
 COMCAST
 800 BROADWAY STREET
 PADUCAH, KY 42001
 CONTACT: STEVE PARMELEY
 PHONE: 270-442-6382

STORM WATER:
 CITY OF PADUCAH CITY HALL -
 ENGINEERING DEPARTMENT
 300 SOUTH 5TH STREET, 2ND FLOOR
 PADUCAH, KY 42001
 CONTACT: GREG GUEBERT, P.E.
 PHONE: 270-444-8511

GAS:
 ATMOS ENERGY
 3510 COLEMAN ROAD
 PADUCAH, KY 42001
 CONTACT: TANNER WALKERSON
 PHONE: 270-438-2873

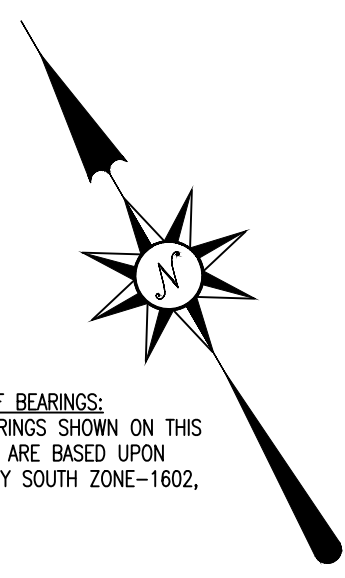
WATER:
 PADUCAH WATER
 1800 NORTH 8TH STREET
 PADUCAH, KY 42001
 CONTACT: SCOTT SMITH
 PHONE: 270-444-5561

SANITARY SEWER:
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 621 NORTHVIEW STREET
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 CONTACT: JOSH WEBB, P.E.
 PHONE: 270-575-0056

PLANNING/ZONING:
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 CONTACT: JOSHUA SOMMER,
 SENIOR PLANNER
 PHONE: 270-444-8690

BURIED UTILITIES NOTE
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BASIS OF BEARINGS:
 ALL BEARINGS SHOWN ON THIS DRAWING ARE BASED UPON KENTUCKY SOUTH ZONE-1602, NAD 83

LEGEND

- NO CORNER
- EXISTING PROPERTY CORNER
- — — — — PROPERTY LINE
- — — — — ADJOINING PROPERTY LINE
- — — — — CENTERLINE
- — — — — EASEMENT LINE
- — — — — EXISTING WATER MAIN
- — — — — EXISTING SANITARY SEWER
- — — — — EXISTING GAS MAIN
- — — — — EXISTING OVERHEAD ELECTRIC
- — — — — EXISTING UNDERGROUND ELECTRIC
- — — — — EXISTING FIBER OPTIC
- — — — — EXISTING CABLE
- — — — — EXISTING TELEPHONE
- — — — — EXISTING WATER VALVE
- — — — — EXISTING WATER METER
- — — — — EXISTING FIRE HYDRANT
- — — — — EXISTING SANITARY SEWER MANHOLE
- — — — — EXISTING SANITARY SEWER CLEANOUT
- — — — — EXISTING UTILITY POLE
- — — — — EXISTING GUY WIRE
- — — — — EXISTING ELECTRICAL BOX
- — — — — EXISTING LIGHT POLE
- — — — — EXISTING TELEPHONE PEDESTAL
- — — — — EXISTING GAS VALVE
- — — — — EXISTING GAS METER
- ▨ EXISTING CONCRETE REMOVAL
- ▩ EXISTING ASPHALT REMOVAL
- ▧ EXISTING GRAVEL REMOVAL

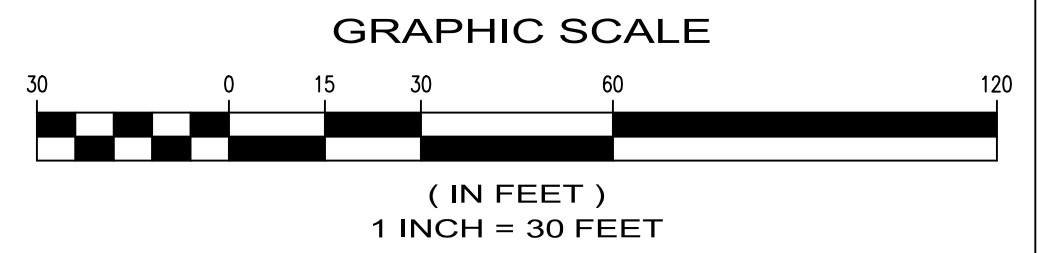
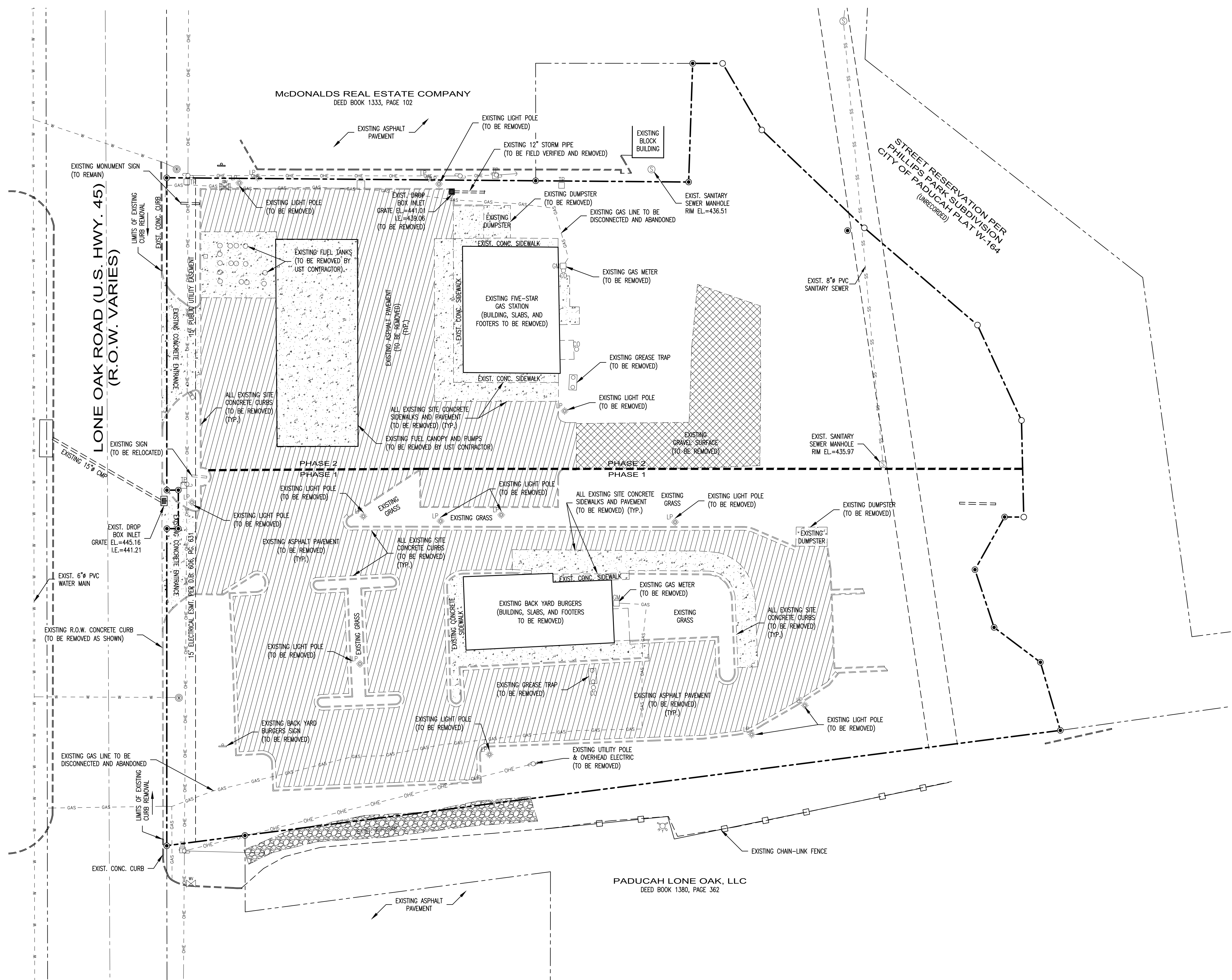
○ DETAIL #
 ○ SHEET SHOWN

EROSION CONTROL NOTE

EROSION CONTROL SHALL BE MAINTAINED AT ALL TIMES IN ACCORDANCE WITH KENTUCKY BEST MANAGEMENT PRACTICES AND THE "KENTUCKY EROSION PREVENTION AND SEDIMENT CONTROL FIELD GUIDE".

DEMOLITION PHASING

PHASE 1: TO BE COMPLETE BEFORE NEW BUILDING CONSTRUCTION
 PHASE 2: TO BE COMPLETE 3-4 MONTHS AFTER START OF NEW BUILDING CONSTRUCTION (COORDINATE WITH NDC)



siteWORX
 SURVEY & DESIGN, LLC
 124 South 31st Street - Paducah, KY 42001 - Ph: (270) 443-8491
 www.siteworxdesign.com

SITE DEMOLITION PLAN
NEW FIVE-STAR #7624
2310 LONE OAK ROAD
PADUCAH, KENTUCKY

PROJECT NO. :	23247
DATE:	APRIL 16, 2024
DRAWN BY:	DJT & MM
CHECKED BY:	
REV.	DESCRIPTION

SHEET
C-0

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LANDSCAPING

SITE VUA = 66,142 SQUARE FEET
 LANDSCAPING REQUIRED: 3,307 SQUARE FEET (5% OF TOTAL VUA)
 LANDSCAPING PROVIDED: 3,480 SQUARE FEET

TREES REQUIRED: 5 TREES FOR THE FIRST 30 PARKING SPACES, PLUS 1 TREE FOR EACH ADDITIONAL 7 SPACES THEREOF. (30% OF REQUIRED TREES SHALL BE PLACED WITHIN THE PERIMETER OF THE ACTUAL PARKING SURFACE.)
 TREES PROVIDED: 6 TREES (2 TREES WITHIN THE PERIMETER OF THE ACTUAL PARKING SURFACE.)

PARKING SUMMARY

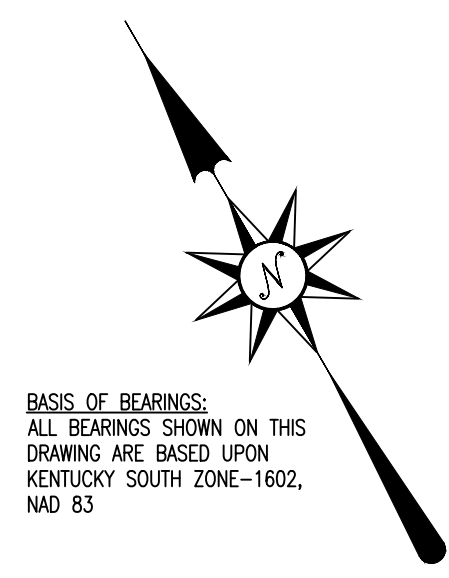
PARKING REQUIRED PER CITY OF PADUCAH ZONING ORDINANCE:
 RETAIL STORES (6,519 SF): 1 PER 300 GFA = 22
 TOTAL = 22

PARKING PROVIDED:
 REGULAR (10'X18') = 38
 HANDICAP PARKING = 2
 TOTAL = 40

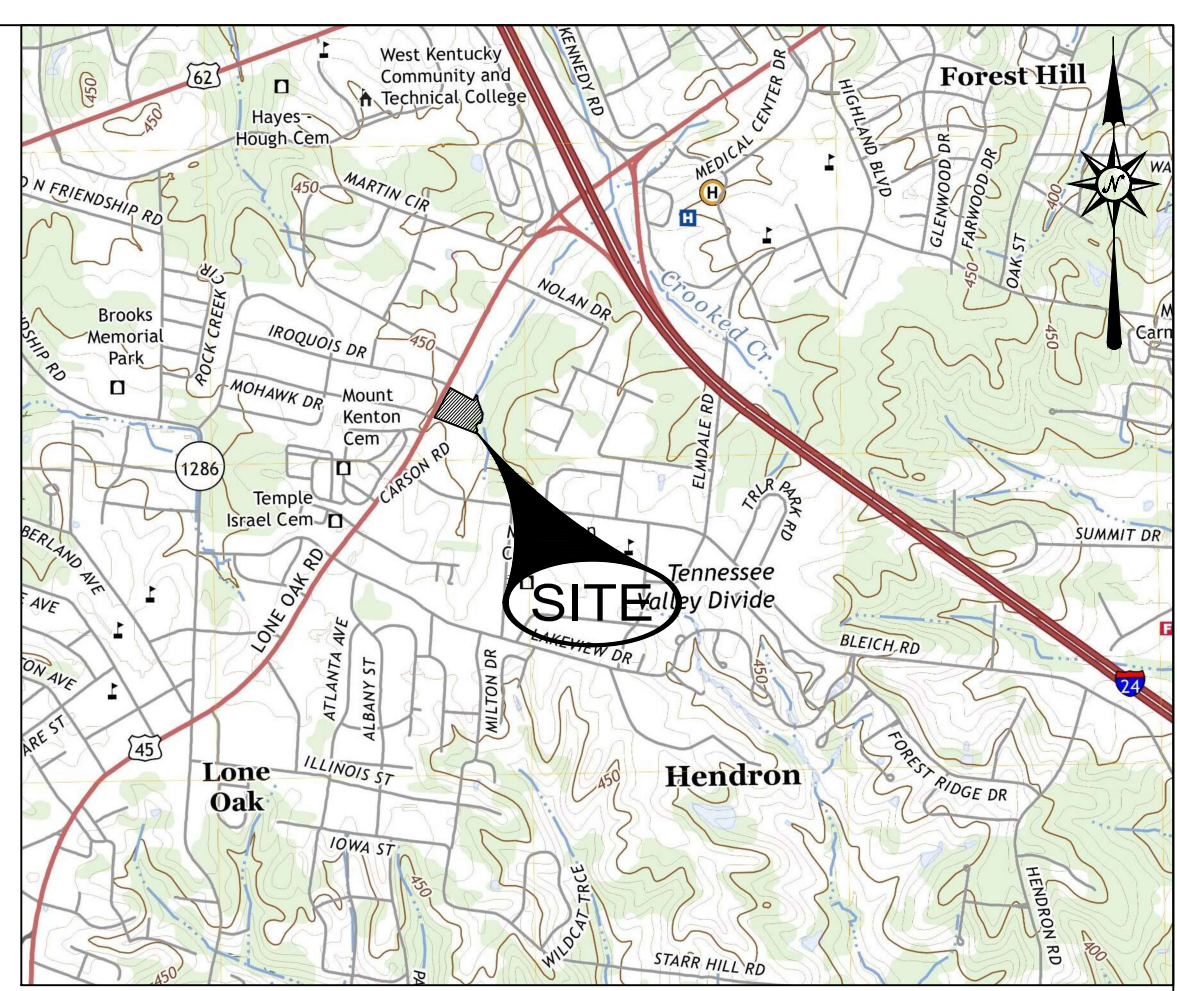
CERTIFICATE OF OWNERSHIP

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS SITE PLAN WITH MY (OUR) FREE CONSENT.

SIGNATURE - NEWCOB OIL CO., LLC DATE _____
 PRINT NAME TITLE _____



BASIS OF BEARINGS:
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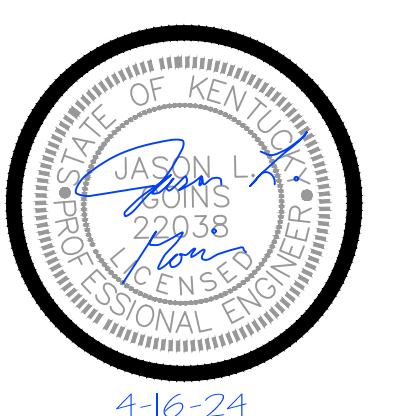
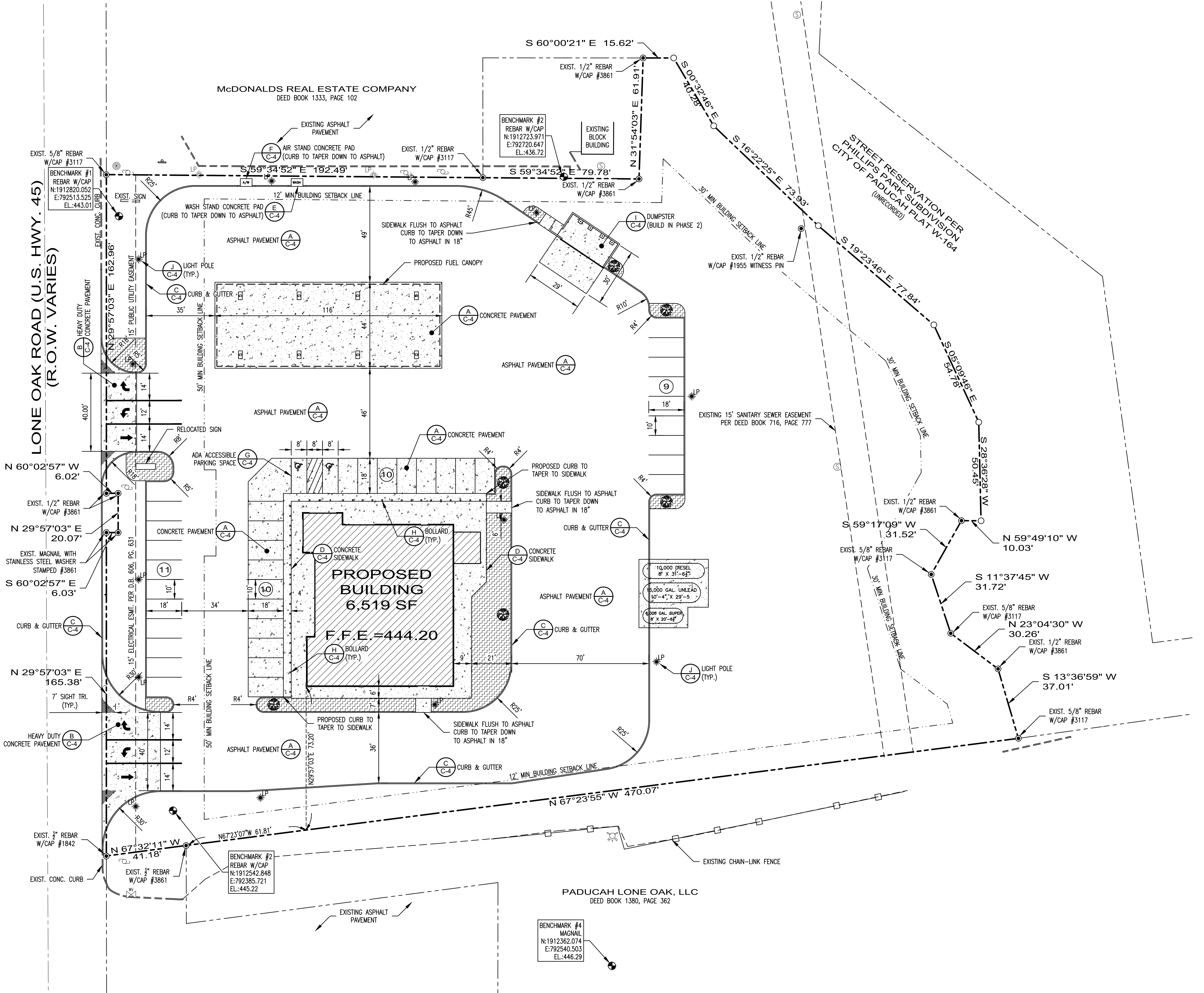
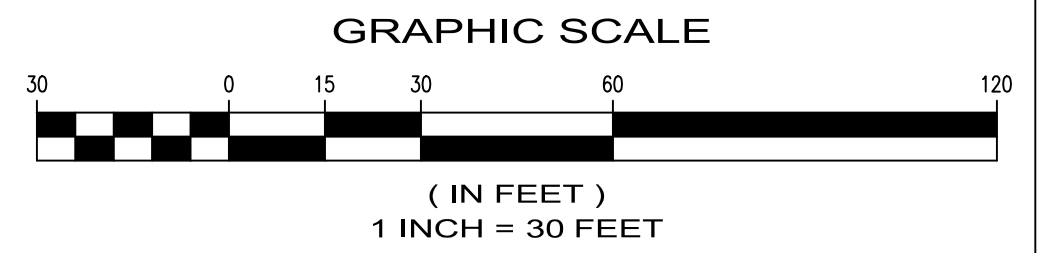
VICINITY MAP
 SCALE: 1" = 2000'

LEGEND

- NO CORNER
- EXISTING PROPERTY CORNER (AS NOTED)
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- - - CENTERLINE
- - - BUILDING SETBACK LINE
- - - EASEMENT LINE
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE
- PROPOSED TREE
- PROPOSED LANDSCAPING

○ DETAIL #
 ○ SHEET SHOWN

- GENERAL SITE NOTES:**
- CLIENT: NEWCOB OIL CO., LLC
 951 WITHROW CT.
 BARDSTOWN, KENTUCKY 40004
 - PROPERTY OWNER: NEWCOB REALTY AND NEWCOB OIL CO., LLC
 951 WITHROW CT. AND 951 WITHROW CT.
 BARDSTOWN, KENTUCKY 40004 BARDSTOWN, KENTUCKY 40004
 - DEED REFERENCE: DEED BOOK 570, PAGE 353
 DEED BOOK 1493, PAGE 240
 - THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP FOR MCCRACKEN COUNTY, COMMUNITY-PANEL NUMBER 21145C0142F, DATED NOVEMBER 2, 2011.
 - TOTAL PROPERTY AREA: 1.77 ACRES (2310 LONE OAK RD.) AND 1.40 ACRES (2314 LONE OAK RD.)
 - THIS PROPERTY IS ZONED HBZ, (HIGHWAY BUSINESS ZONE), AND IS SUBJECT TO ALL REGULATIONS SET FORTH FOR THIS ZONE BY THE CITY OF PADUCAH, KENTUCKY ZONING ORDINANCE.
 - MINIMUM YARD REQUIREMENTS:
 FRONT YARD: 50 FEET, EXCEPT WHERE A PARALLEL ACCESS ROAD IS PROVIDED WITH CONSTRUCTION REQUIREMENTS WHICH MEET THE STANDARDS OF THE SIDE YARD: 12 FEET, EXCEPT SIDE YARD THAT ABUTS A RESIDENTIAL ZONE SHALL NOT BE LESS THAN 25 FEET.
 REAR YARD: 10 FEET, EXCEPT WHERE A COMMERCIAL BUILDING IS SERVICED FROM THE REAR, THEN THERE SHALL BE A REAR YARD NOT LESS THAN 30 FEET; ALSO THE DEPTH OF A REAR YARD WHICH ABUTS A RESIDENTIAL ZONE SHALL NOT BE LESS THAN 30 FEET.
 - PROPOSED BUILDING SUMMARY: TOTAL = 6,519 SQ. FT.
 - ALL PAVEMENT MARKINGS TO BE 4" WHITE STRIPE.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE SIDEWALKS, CURBS, GUTTERS, AND/OR DRIVEWAY ENTRANCE APRONS DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
 - EXISTING ROADWAYS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO A CONDITION THAT IS EQUAL TO OR EXCEEDS CURRENT CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
 - IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYMENT OF ALL PERMITS REQUIRED TO COMPLETE THE PROJECT. ALL MATERIALS AND PROCEDURES SHALL BE IN ACCORDANCE WITH CITY OF PADUCAH STANDARDS AND SPECIFICATIONS.
 - A COPY OF THIS APPROVED SITE PLAN AND ALL PERTINENT DOCUMENTS SHALL BE READILY AVAILABLE AT THE WORK SITE AT ALL TIMES.
 - BEFORE CONSTRUCTION, THE CONTRACTOR SHOULD CONTACT B.U.D. 1-800-752-6007.
 - ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL REQUIRE A PERMIT ISSUED BY THE CITY OF PADUCAH ENGINEERING DEPARTMENT.
 - NOTIFICATION SHALL BE GIVEN TO THE CITY ENGINEER'S OFFICE 72 HOURS PRIOR TO BEGINNING WORK WITHIN THE RIGHT-OF-WAY.
 - ALL WORK WITHIN THE STATE RIGHT OF WAY SHALL REQUIRE A PERMIT ISSUED BY THE KENTUCKY TRANSPORTATION CABINET DISTRICT OFFICE.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
 - THIS PROPOSED SITE DEVELOPMENT PLAN REMAINS IN COMPLIANCE WITH A PREVIOUS STORMWATER MANAGEMENT PLAN APPROVED ON AUGUST 6TH, 1998.



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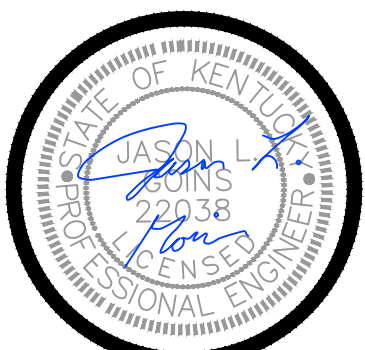
124 South 31st Street - Paducah, KY 42001 - Ph: (270) 443-8491
 www.siteworxdesign.com

SITE DEVELOPMENT PLAN
 NEW FIVE-STAR #7624
 2310 LONE OAK ROAD
 PADUCAH, KENTUCKY

PROJECT NO.: 23247
 DATE: APRIL 16, 2024
 DRAWN BY: DJT & MM
 CHECKED BY:

REV.	DESCRIPTION

SHEET
C-1



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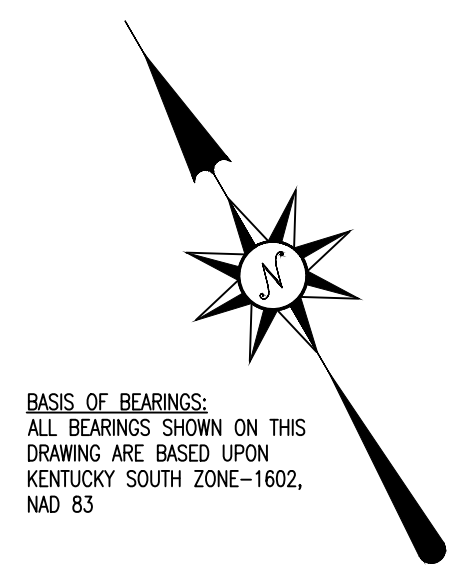
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EROSION CONTROL

- 1 CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE WITHIN HATCHED AREA. AREA TO BE APPROXIMATELY 50' LONG BY 24' WIDE. PLACE KOOH NO. 2 STONE A MINIMUM OF 6" DEEP, OVER FILTER FABRIC.
- 2 INSTALL PROPOSED SILT FENCE
- 3 INSTALL PROPOSED INLET PROTECTION

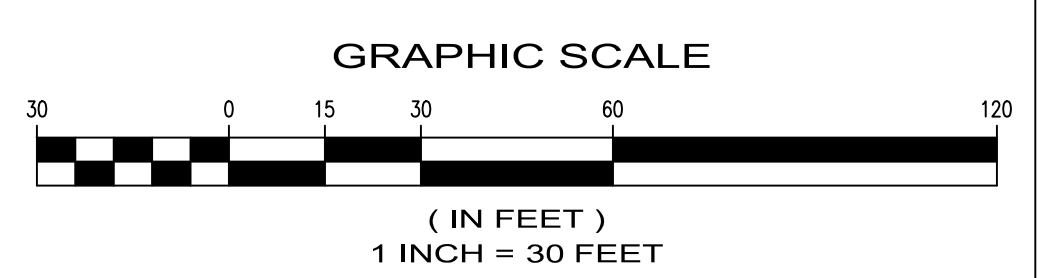
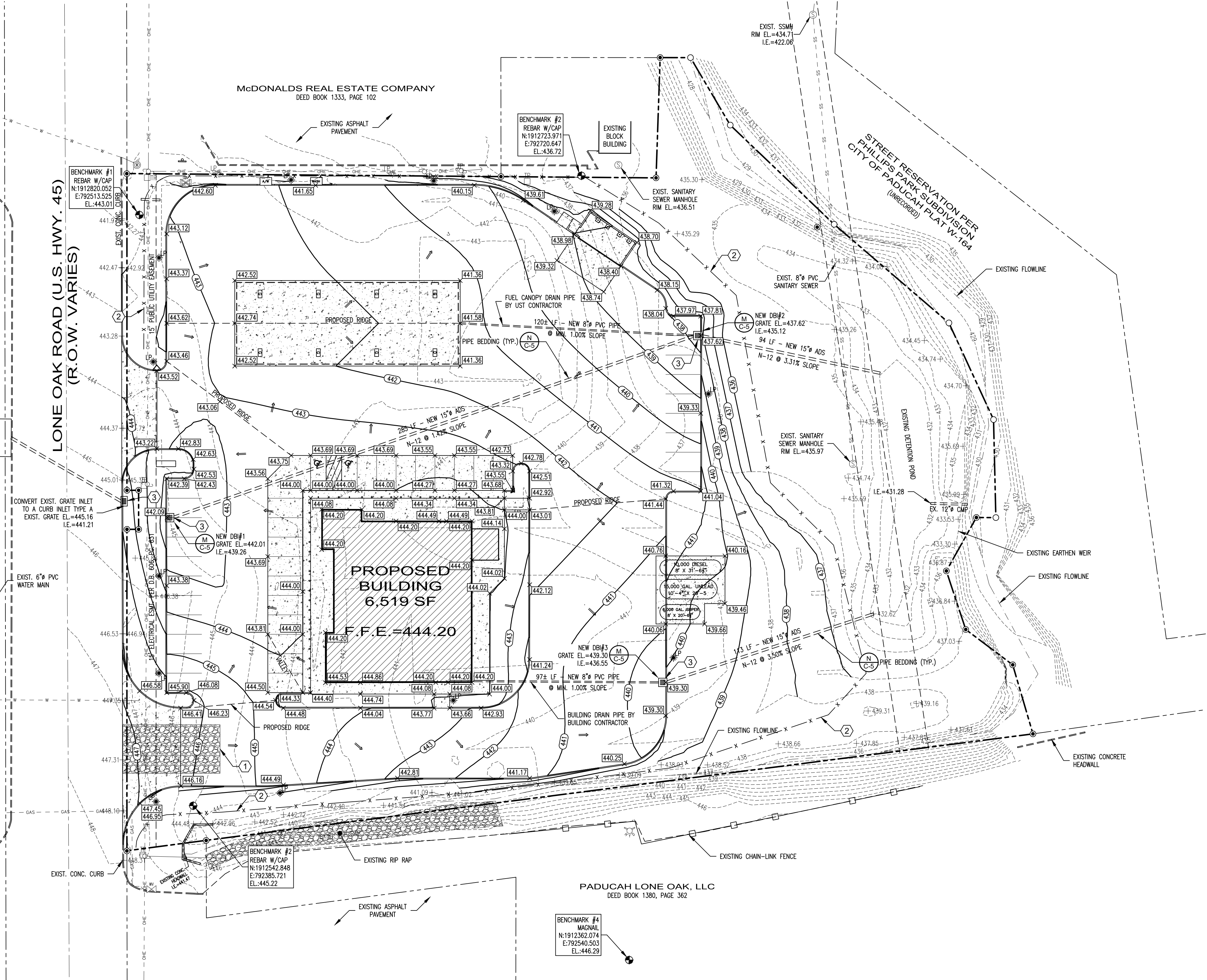
DISTURBED AREA
APPROXIMATE AREA = 2.38 ACRES



LEGEND

○	NO CORNER
●	EXISTING PROPERTY CORNER
---	PROPERTY LINE
- - - -	ADJOINING PROPERTY LINE
---	CENTERLINE
- - - -	EASEMENT LINE
---	EXISTING WATER MAIN
- - - -	EXISTING SANITARY SEWER
---	EXISTING GAS MAIN
- - - -	EXISTING OVERHEAD ELECTRIC
---	EXISTING UNDERGROUND ELECTRIC
- - - -	EXISTING FIBER OPTIC
---	EXISTING CABLE
---	EXISTING TELEPHONE
---	EXISTING WATER VALVE
---	EXISTING WATER METER
---	EXISTING FIRE HYDRANT
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---	EXISTING SANITARY SEWER CLEANOUT
---	EXISTING UTILITY POLE
---	EXISTING GUY WIRE
---	EXISTING ELECTRICAL BOX
---	EXISTING LIGHT POLE
---	EXISTING TELEPHONE PEDESTAL
---	EXISTING GAS VALVE
---	EXISTING GAS METER
---	PROPOSED LIGHT POLE
---	EXISTING ELEVATION CONTOUR
---	EXISTING SPOT ELEVATION
---	PROPOSED SPOT ELEVATION
---	PROPOSED DRAINAGE ARROW
---	PROPOSED FLOWLINE
---	PROPOSED SILT FENCE

- SITE GRADING NOTES:**
- ALL CONTOURS AND SPOT ELEVATIONS INDICATE FINISH GRADE OF SURFACE. ADJUST ACCORDINGLY TO ESTABLISH SUBGRADE OR SUB-BASE ELEVATIONS.
 - PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND FIELD LOCATING ALL UTILITIES WITHIN THE PROJECT LIMITS SO THAT CONSTRUCTION WILL NOT DAMAGE OR INTERFERE WITH EXISTING UTILITY LINES. IF ANY UTILITY LINES ARE DAMAGED, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE UTILITY LINES AT THE CONTRACTOR'S EXPENSE. FINISHED REPLACEMENT OR REPAIR SHALL MEET THE APPROVAL OF THE SPECIFIC UTILITY OWNER.
 - BEFORE STARTING SITE EXCAVATION, CONTRACTOR SHALL STRIP ALL TOPSOIL FROM THE PROJECT AREA AND STORE IN A PROTECTED LOCATION THAT SHALL NOT INTERFERE WITH PROJECT DEVELOPMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR REDISTRIBUTING TOPSOIL IN FINISH GRADE AREAS.
 - ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY PER STANDARD PROCTOR ANALYSIS ASTM D 698 OR TO THE PROJECT SPECIFICATIONS, WHICHEVER IS GREATER.
 - CONTRACTOR SHALL COORDINATE HORIZONTAL AND VERTICAL CONTROL WITH ENGINEER OR SURVEYOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - UTILITIES SHOWN ARE THOSE VISIBLE AT THE TIME OF MAPPING. UNDERGROUND UTILITIES WERE LOCATED BY OBSERVATION OF SURFACE FEATURES. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AT BEST. UNMARKED UNDERGROUND UTILITIES MAY BE PRESENT. CONTACT UTILITY OWNERS PRIOR TO EXCAVATION OR DEMOLITION.
 - ALL DISTURBED AREAS NOT TO RECEIVE PAVEMENT SHALL BE FINE GRADED TO DRAIN, BACKFILLED WITH A MINIMUM OF 6" TOPSOIL, SEEDED OR SOODED, FERTILIZED, AND PROTECTED PER STANDARD KOOH SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR RE-SEEDING AND/OR RE-SODDING UNTIL THE INITIAL STAND OF GRASS HAS BEEN ESTABLISHED.
 - BENCHMARK INFORMATION AS PROVIDED SHALL BE USED TO CONFIRM EXISTING TOPOGRAPHIC CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ANY CONFLICT AND/OR DISCREPANCIES ENCOUNTERED BETWEEN THE EXISTING TOPOGRAPHY SHOWN AND ACTUAL SITE CONDITIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER IMMEDIATELY.
 - ANY EXCESS SOIL SHALL BE EXPORTED FROM THE SITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ANY FILL MATERIAL REQUIRED TO BE IMPORTED TO THE SITE FOR PROPER GRADING AND FINISHING OF PROPOSED SITE ELEVATIONS SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT AND COMPACTION.
 - THE CONTRACTOR SHALL NOT SCALE FROM THESE PLANS FOR FIELD SURVEY LOCATIONS.
 - IMPROPER GRADING/FINISHING OF CONCRETE OR ASPHALT SURFACES WITHIN THE PROJECT LIMITS OR ADJACENT RIGHTS-OF-WAY THAT RESULTS IN DRAINAGE PROBLEMS SHALL BE REMOVED AND REINSTALLED TO IMPLEMENT POSITIVE DRAINAGE.
 - THE CONTRACTOR IS RESPONSIBLE FOR SEDIMENTATION CONTROL OF ONSITE RUNOFF IN ACCORDANCE WITH "KENTUCKY BEST MANAGEMENT" PRACTICES. PERMITTER OF DRAINAGE AREA TO RECEIVE SILT FENCE AND ALL CHANNEL WAYS TO RECEIVE ROCK CHECKS.
 - ALL DITCHES DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO THEIR ORIGINAL LINES AND GRADES. THE IMPROVEMENT OF THIS SITE SHALL NOT DETOUR OR OBSTRUCT THE NECESSARY DRAINAGE REQUIRED.
 - THE DRAINAGE PATTERN CREATED BY THE DEVELOPMENT OF THIS SITE SHALL BE CONSISTENT WITH THE PREVIOUS STORMWATER DRAINAGE PATTERNS. THE ADJACENT PROPERTY OWNERS SHALL NOT REALIZE ANY CHANGE IN RUNOFF TO THEIR PROPERTY.
 - ALL POTENTIAL EROSION SHALL BE CONTROLLED IN SUCH A MANNER SO AS TO PREVENT ANY DISPLACEMENT OF SILT TO THE ADJACENT PROPERTY OWNERS OR RIGHT-OF-WAY. THIS CONTROL SHALL BE IMPLEMENTED THROUGH PROPER INSTALLATION OF SILT FENCE OR STRAW BALES DURING THE CONSTRUCTION DURATION AND MAINTAINED UNTIL PROPER GROUND COVER HAS BEEN ESTABLISHED.
 - ALL PROPOSED SPOT ELEVATIONS SHOWN AT CURBS INDICATE THE PAVEMENT ELEVATION.



SITE GRADING PLAN
NEW FIVE-STAR #7624
2310 LONE OAK ROAD
PADUCAH, KENTUCKY

PROJECT NO.: 23247
DATE: APRIL 16, 2024
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CHECKED BY:

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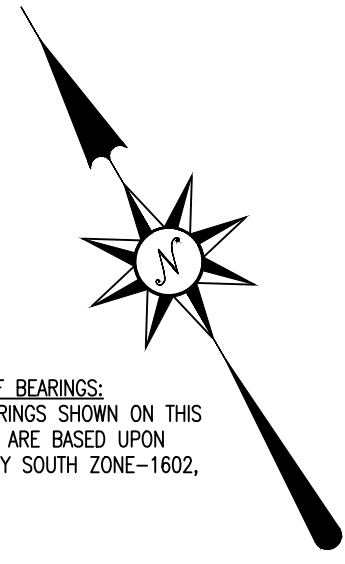
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 PHONE: 270-444-8690

BURIED UTILITIES NOTE
 BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION BASED UPON INFORMATION OBTAINED FROM LOCAL UTILITY COMPANIES AND FIELD EVIDENCE. OTHER BURIED UTILITIES MIGHT EXIST ON THE SUBJECT SITE THAT ARE NOT SHOWN ON THIS DRAWING.

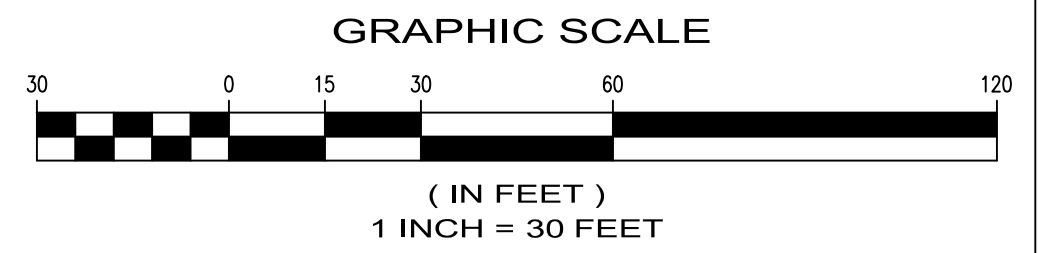
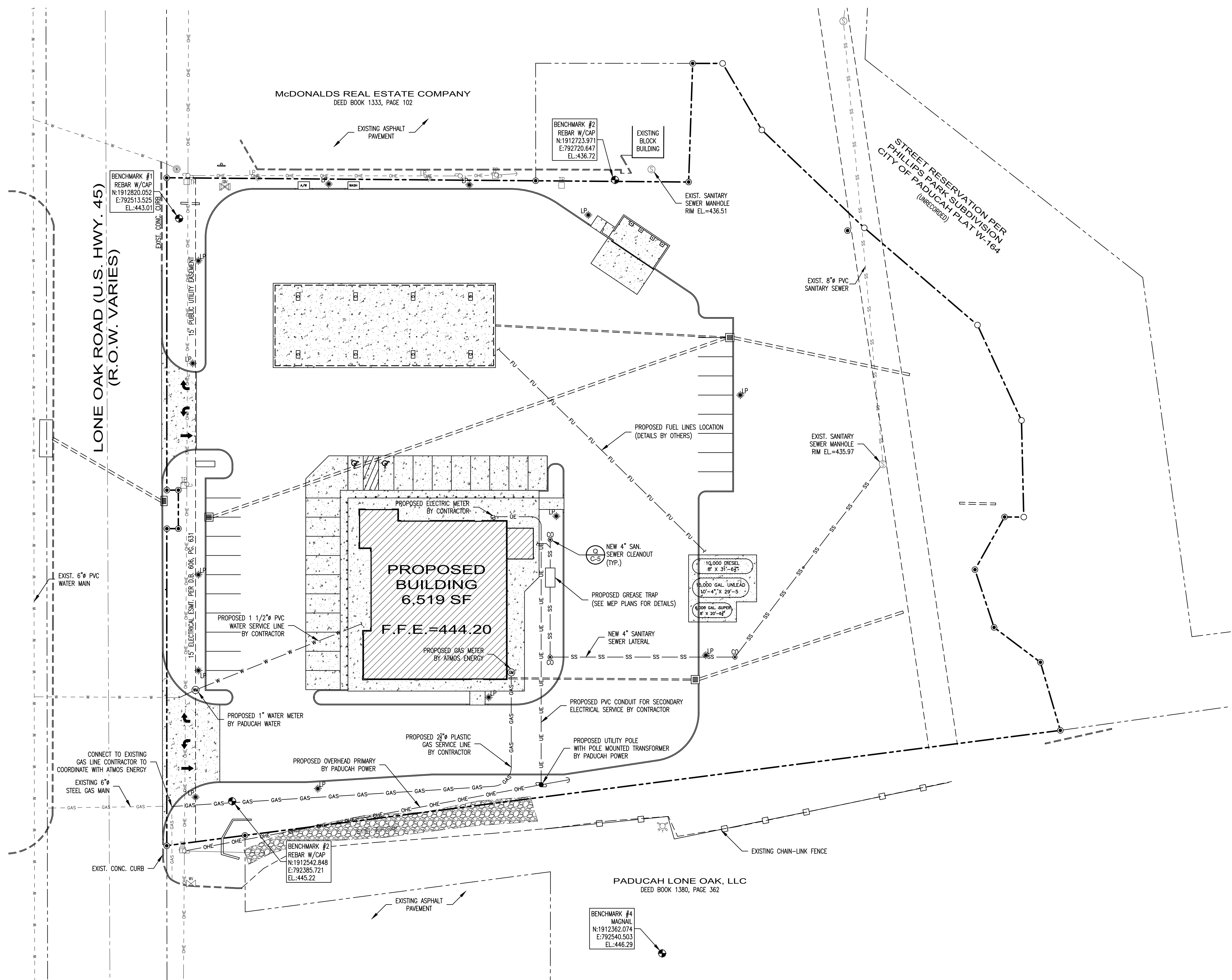
Kentucky 811
 Know what's below.
 Call before you dig.
 Call 811 or 800-752-6007
 www.kentucky811.org
 Two Business Days Before You Dig
 IT'S THE LAW



LEGEND

○	NO CORNER
●	EXISTING PROPERTY CORNER
---	PROPERTY LINE
- - - -	ADJOINING PROPERTY LINE
- - - -	CENTERLINE
- - - -	EASEMENT LINE
— W — W — W —	EXISTING WATER MAIN
— SS — SS — SS —	EXISTING SANITARY SEWER
— GAS — GAS —	EXISTING GAS MAIN
— OHE — OHE —	EXISTING OVERHEAD ELECTRIC
— UE — UE — UE —	EXISTING UNDERGROUND ELECTRIC
— FO — FO — FO —	EXISTING FIBER OPTIC
— EC — EC — EC —	EXISTING CABLE
— UT — UT — UT —	EXISTING TELEPHONE
⊗	EXISTING WATER VALVE
⊕	EXISTING WATER METER
⊙	EXISTING FIRE HYDRANT
⊚	EXISTING SANITARY SEWER MANHOLE
⊚	EXISTING SANITARY SEWER CLEANOUT
⊚	EXISTING UTILITY POLE
⊚	EXISTING GUY WIRE
⊚	EXISTING ELECTRICAL BOX
⊚	EXISTING LIGHT POLE
⊚	EXISTING TELEPHONE PEDESTAL
⊚	EXISTING GAS VALVE
⊚	EXISTING GAS METER
⊚	PROPOSED LIGHT POLE
— W — W — W —	PROPOSED WATER SERVICE
— SS — SS — SS —	PROPOSED SANITARY SEWER SERVICE
— GAS — GAS —	PROPOSED GAS SERVICE
— OHE — OHE —	PROPOSED OVERHEAD ELECTRIC
— UE — UE — UE —	PROPOSED UNDERGROUND ELECTRIC
⊚	PROPOSED UTILITY POLE
⊚	PROPOSED WATER METER
⊚	PROPOSED GAS METER
⊚	PROPOSED SANITARY SEWER CLEANOUT

- SITE UTILITY NOTES:**
- DUCTILE IRON FITTINGS SHALL BE MECHANICAL JOINT WITH A MINIMUM TENSILE STRENGTH OF 25,000 PSI, A WALL THICKNESS EQUIVALENT OF DUCTILE IRON CLASS 54 AND A WORKING PRESSURE RATING OF 350 PSI.
 - ALL THRUST BLOCKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL SANITARY SEWER PIPE AND FITTINGS SHALL BE PVC SDR35.
 - ALL MATERIALS FOR INSTALLATION OF WATER LINES SHALL BE IN ACCORDANCE WITH PADUCAH WATER STANDARDS AND PROCEDURES.
 - ALL TESTING SHALL BE IN COMPLIANCE WITH STATE AND LOCAL REGULATIONS AND SHALL BE COMPLETED IN THE PRESENCE OF THE ENGINEER AND, OR, A LOCAL OFFICIAL.
 - INSTALLATION OF TAPPING SLEEVE AND WATER METER SETTING WILL BE COMPLETED BY PADUCAH WATER. THE REMAINDER OF THE WATER LINE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - PROPOSED PIPING IS SHOWN IN GENERAL LOCATION. MAKE ALL MINOR ADJUSTMENTS OF THE LOCATION AND GRADE OF THE PROPOSED PIPING TO INSURE COMPLETE INTEGRATION OF ALL PROPOSED PIPING WITH EXISTING PIPING AND STRUCTURES WITH THE APPROVAL OF THE ENGINEER.
 - RESTORE ALL SOIL AREAS DISTURBED AS A RESULT OF ANY CONSTRUCTION PROCESS TO A CONDITION EQUAL TO OR EXCEEDING PRE-CONSTRUCTION CONDITIONS.
 - DO NOT STORE EXCAVATED MATERIAL IN LOCATIONS THAT BLOCK THE EXISTING STORM DRAINAGE.
 - MAINTAIN A MINIMUM 10 FEET HORIZONTAL, OR AN 18 INCH VERTICAL SEPARATION BETWEEN WATER AND SANITARY SEWER LINES. SEE DETAILS.
 - INSTALLATION OF THE ENTIRE SEWER LATERAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ELECTRICAL TRANSFORMER TO BE PROVIDED AND INSTALLED BY PADUCAH POWER. UNDERGROUND CONDUIT TO BE INSTALLED BY CONTRACTOR.
 - PROPOSED UTILITIES ARE SHOWN IN A GENERAL LOCATION ONLY AND SHOULD BE COORDINATED WITH MECH./ELEC. PLANS, AND/OR UTILITY COMPANIES PRIOR TO INSTALLATION.
 - SIZING OF ALL SERVICE LINES SHALL BE COORDINATED WITH THE MECHANICAL, ELECTRICAL, AND/OR PLUMBING PLANS.
 - ALL TURNS, BENDS, PLEGS, CAPS, AND CHANGES OF DIRECTION SHALL BE BLOCKED WITH CONCRETE AGAINST UNDISTURBED SOIL.
 - ALL MATERIALS, INSTALLATION AND TESTING SHALL BE IN CONFORMANCE WITH PADUCAH WATER AND KENTUCKY DIVISION OF WATER STANDARDS AND SPECIFICATIONS.
 - ALL WATER MAINS SHALL BE INSTALLED AT A MINIMUM DEPTH OF 42 INCHES BELOW GRADE. MEASURED FROM GROUND SURFACE TO THE TOP OF THE WATER MAIN.



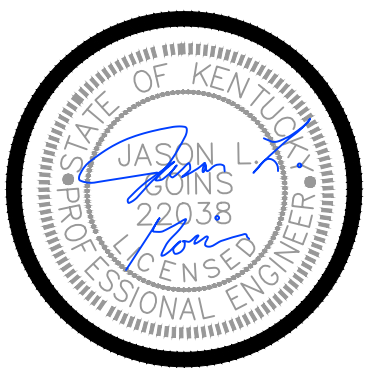
siteworx
 SURVEY & DESIGN, LLC
 124 South 31st Street - Paducah, KY 42001 - Ph: (270) 443-8481
 www.siteworxdesign.com

SITE UTILITY PLAN
 NEW FIVE-STAR #7624
 2310 LONE OAK ROAD
 PADUCAH, KENTUCKY

PROJECT NO. :	23247
DATE:	APRIL 16, 2024
DRAWN BY:	DJT & MM
CHECKED BY:	
REV.	DESCRIPTION

SHEET
C-3

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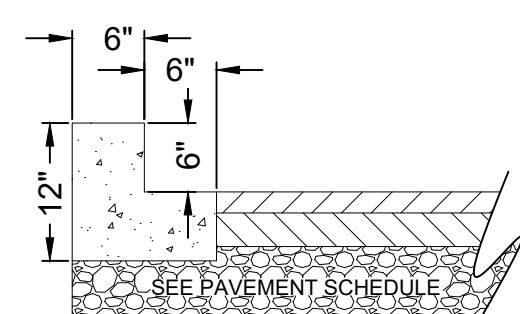


4-16-24



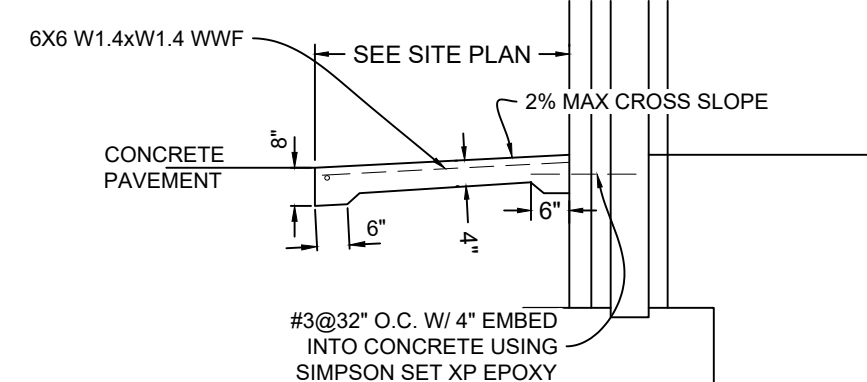
CONCRETE PAVEMENT **ASPHALT PAVEMENT (STANDARD)**

(A) PAVEMENT DETAIL
SCALE: N.T.S.

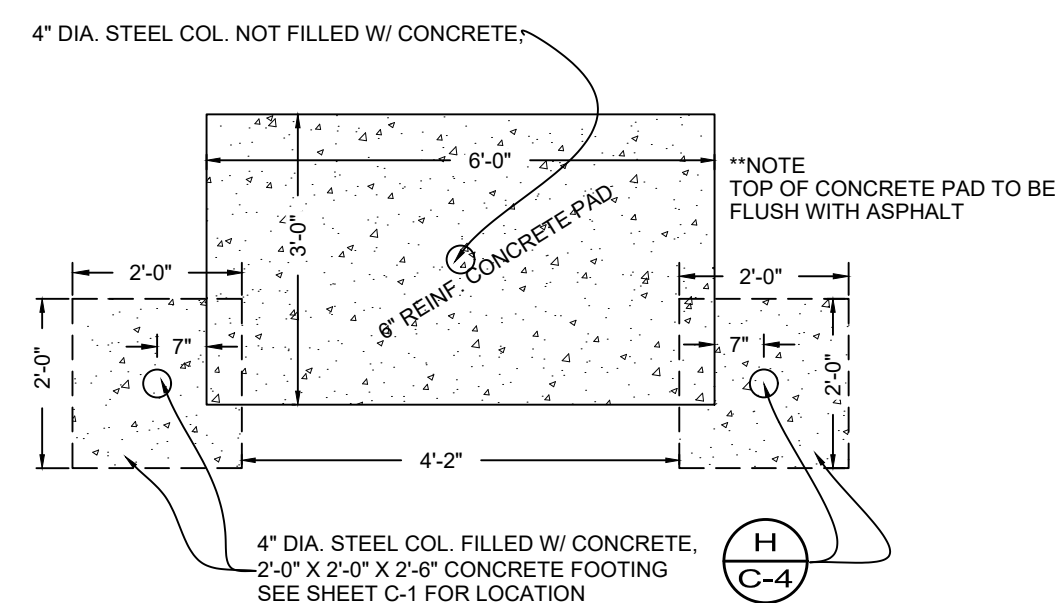


12" CURB & GUTTER (STANDARD)

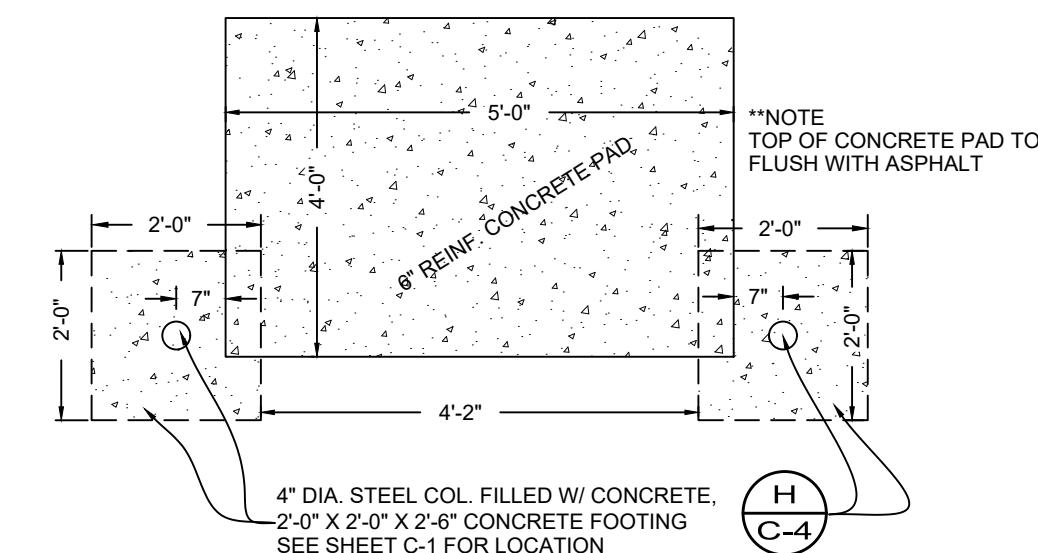
(C) CURB DETAIL
SCALE: N.T.S.



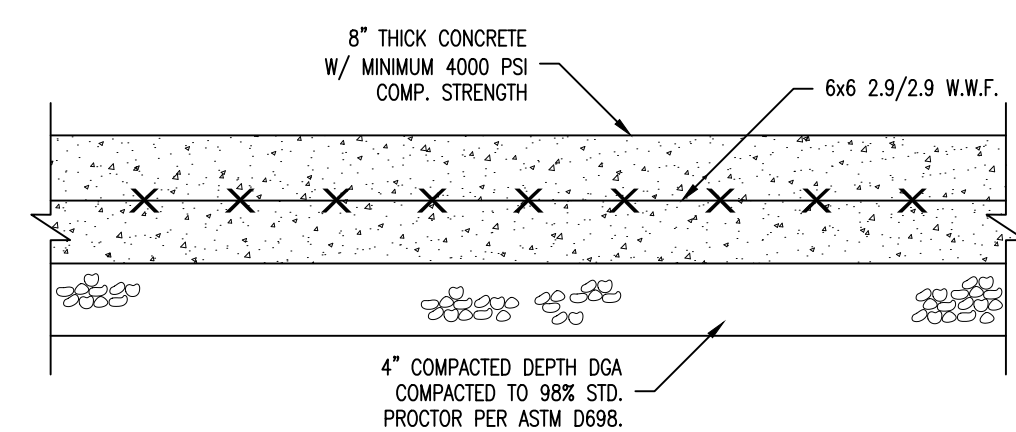
(D) SIDEWALK DETAIL
SCALE: N.T.S.



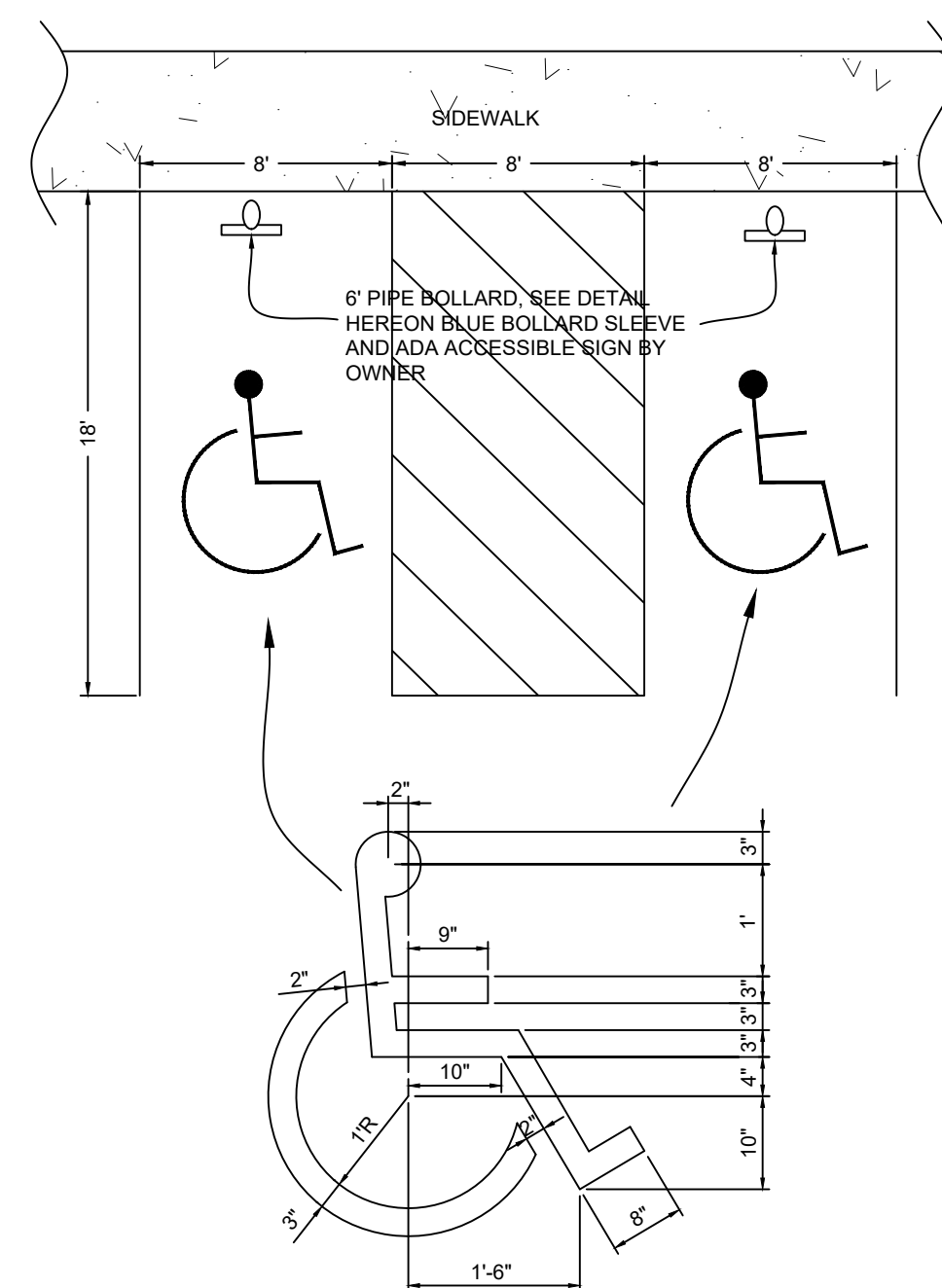
(E) WASH STAND CONC. PAD
SCALE: N.T.S.



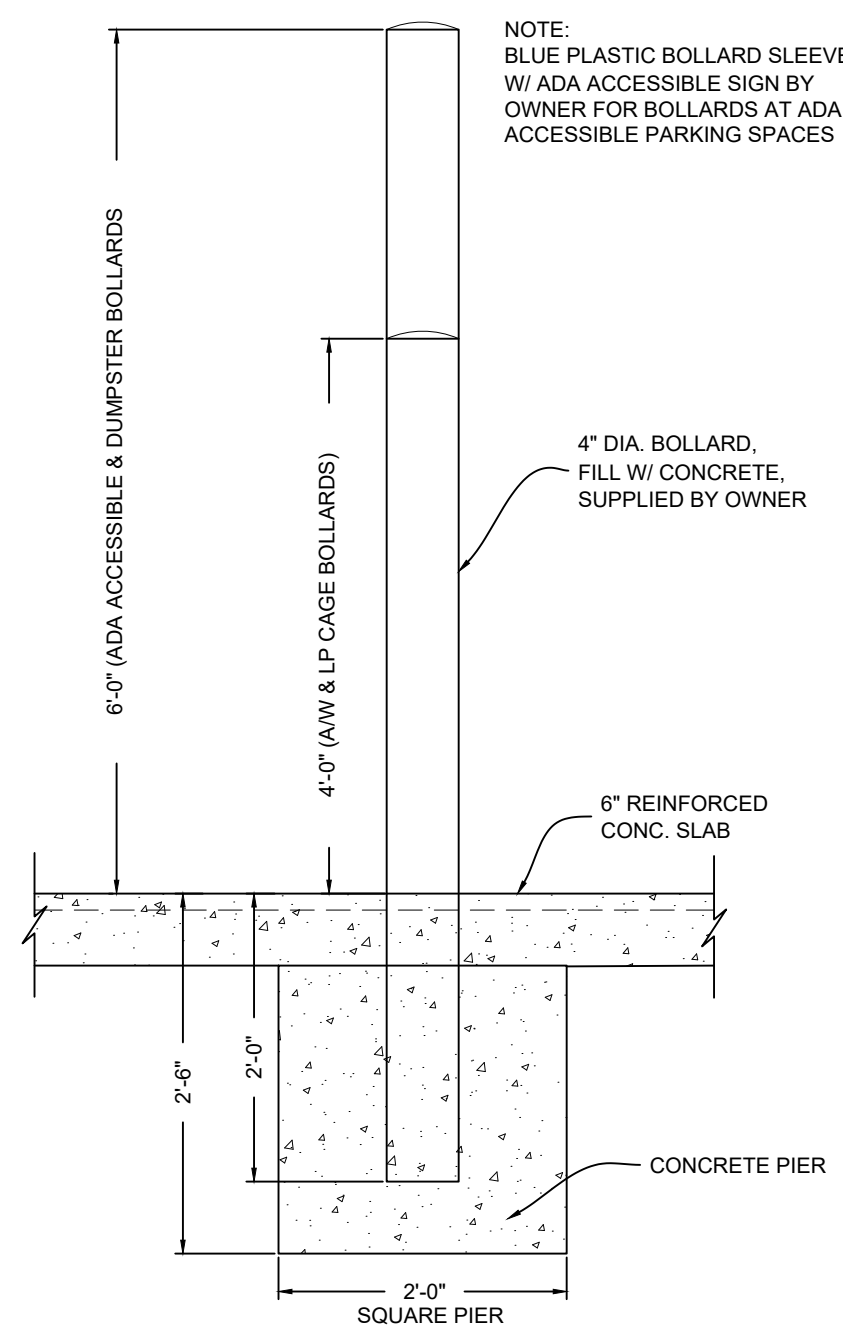
(F) AIR STAND CONC. PAD
SCALE: N.T.S.



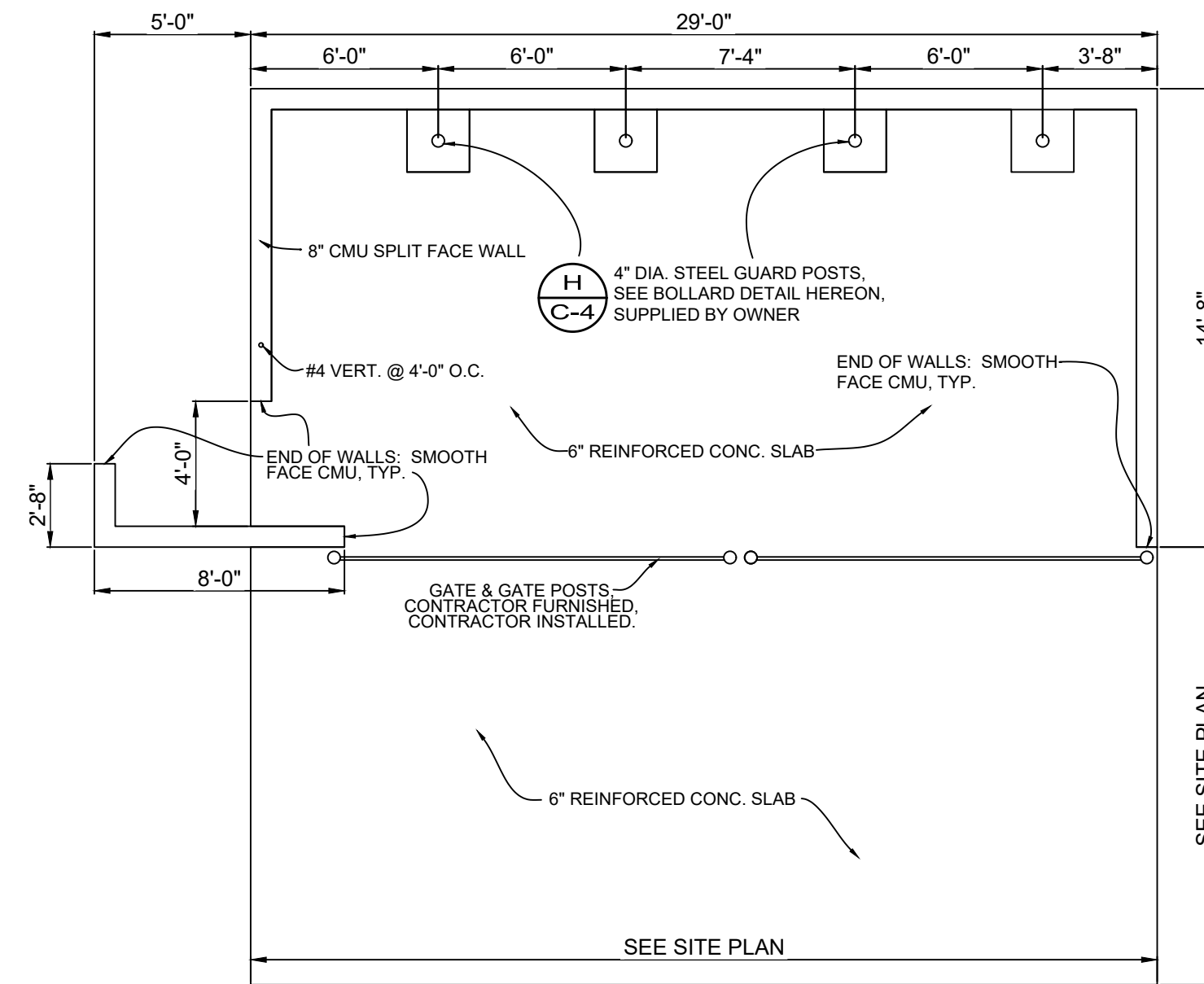
(B) HEAVY DUTY CONCRETE PAVEMENT
SCALE: N.T.S.



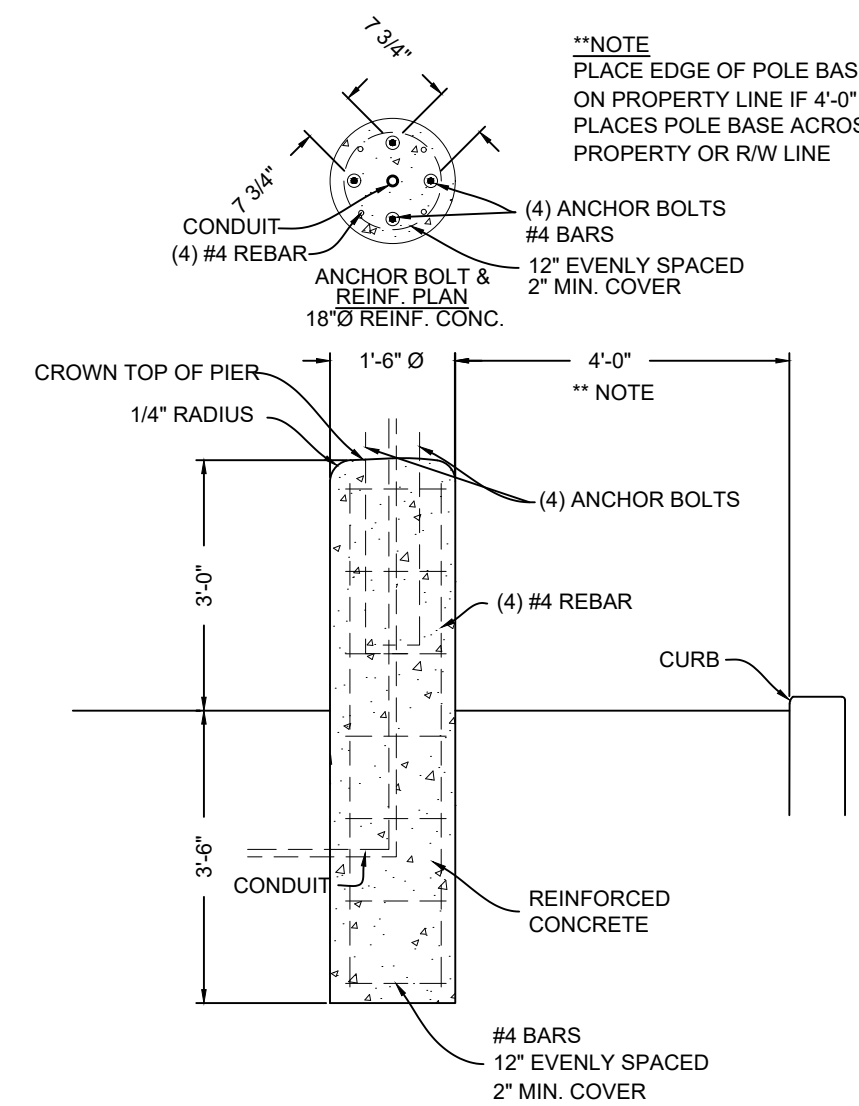
(G) ADA ACCESSIBLE SPACE DETAIL
SCALE: N.T.S.



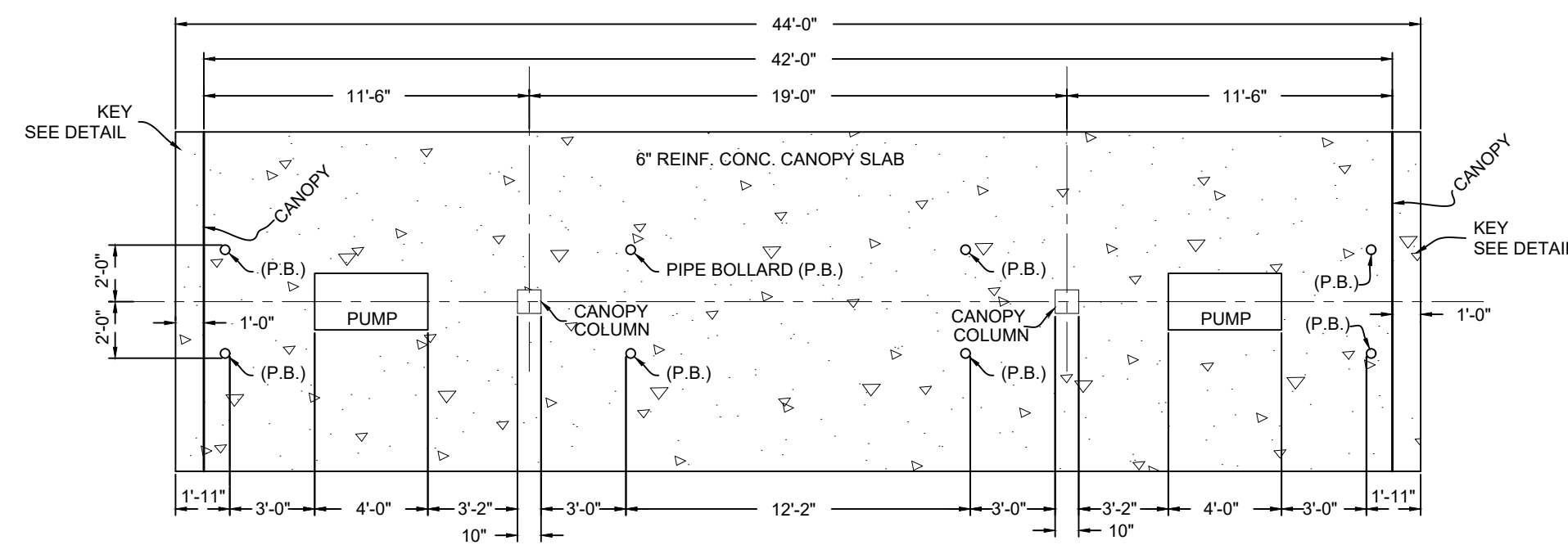
(H) PIPE BOLLARD DETAIL
SCALE: N.T.S.



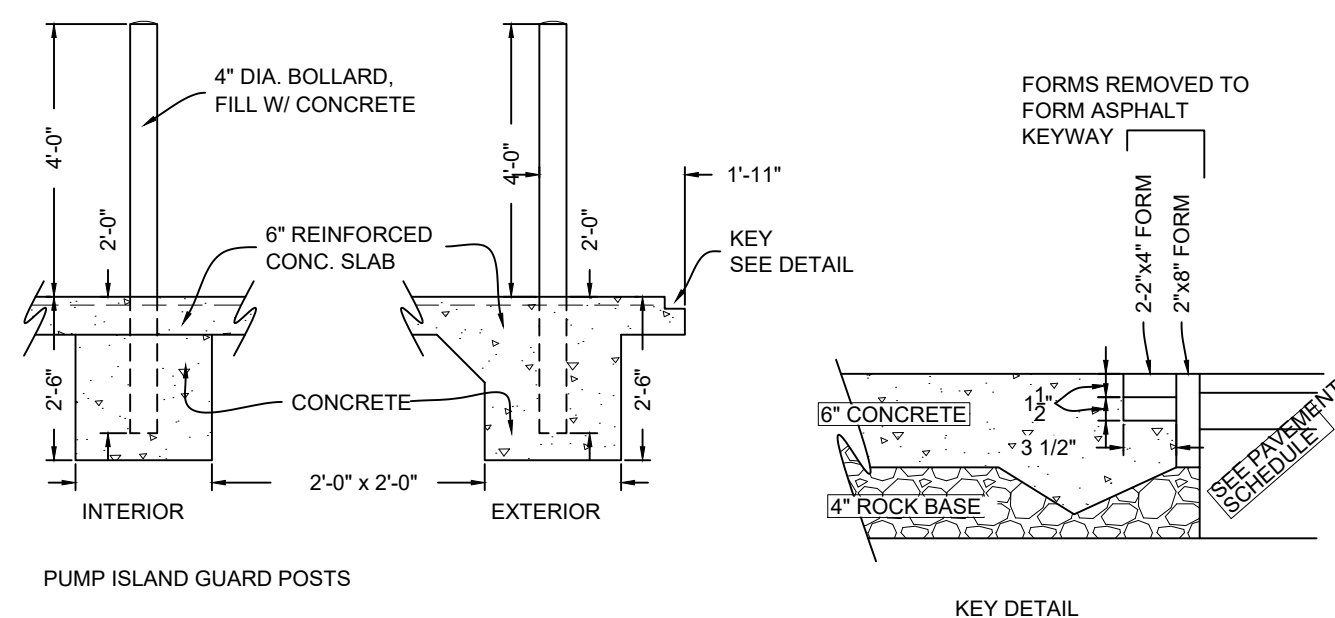
(I) DUMPSTER DETAIL
SCALE: N.T.S.



(J) LIGHT POLE BASE DETAIL
SCALE: N.T.S.

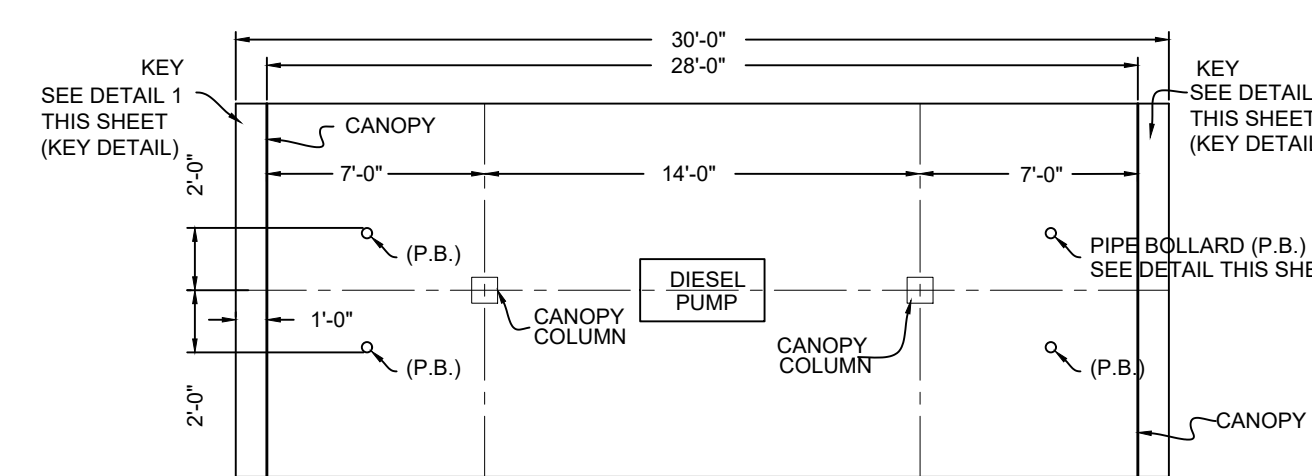


(K) PUMP ISLAND PLAN SECTION
SCALE: N.T.S.



PUMP ISLAND GUARD POSTS

KEY DETAIL



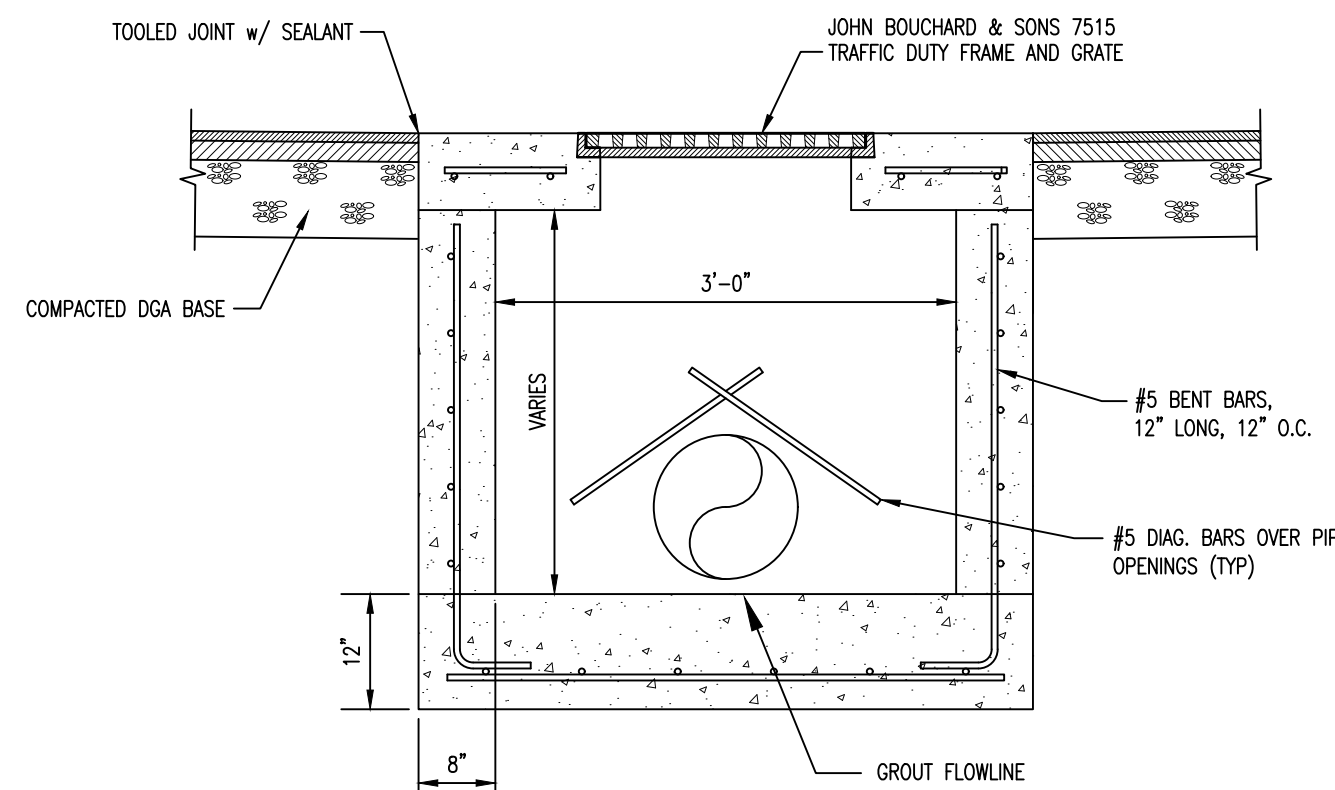
(L) DIESEL PUMP ISLAND PLAN SECTION
SCALE: N.T.S.

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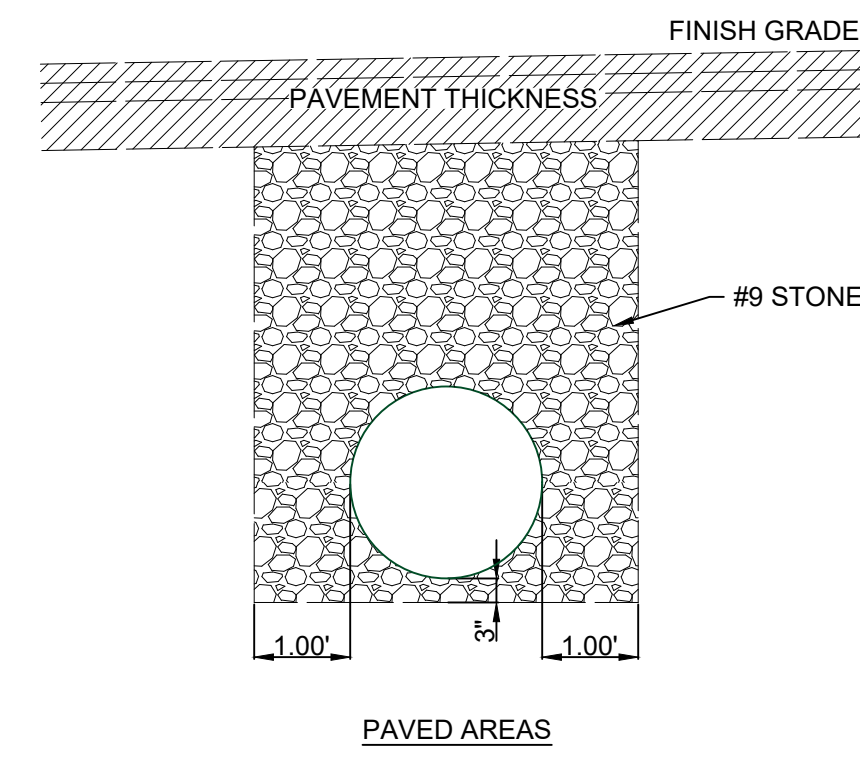
SITE DETAILS

NEW FIVE-STAR #7624
2310 LONE OAK ROAD
PADUCAH, KENTUCKY

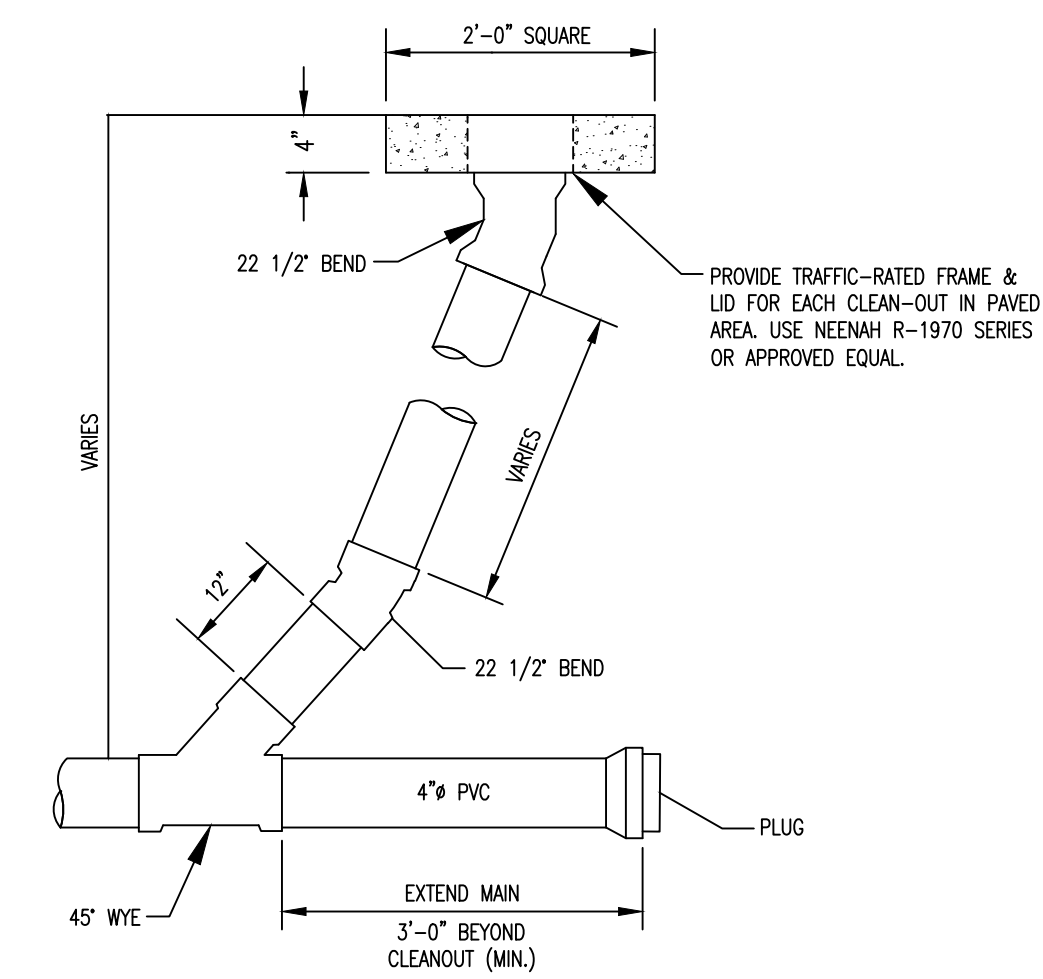
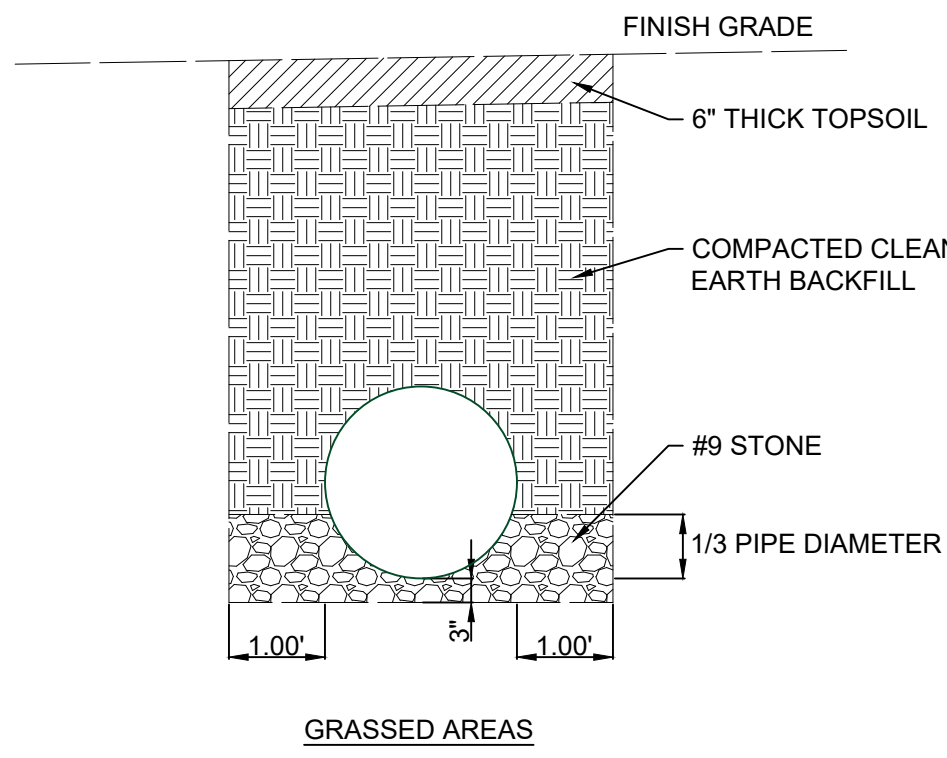
PROJECT NO. :	23247
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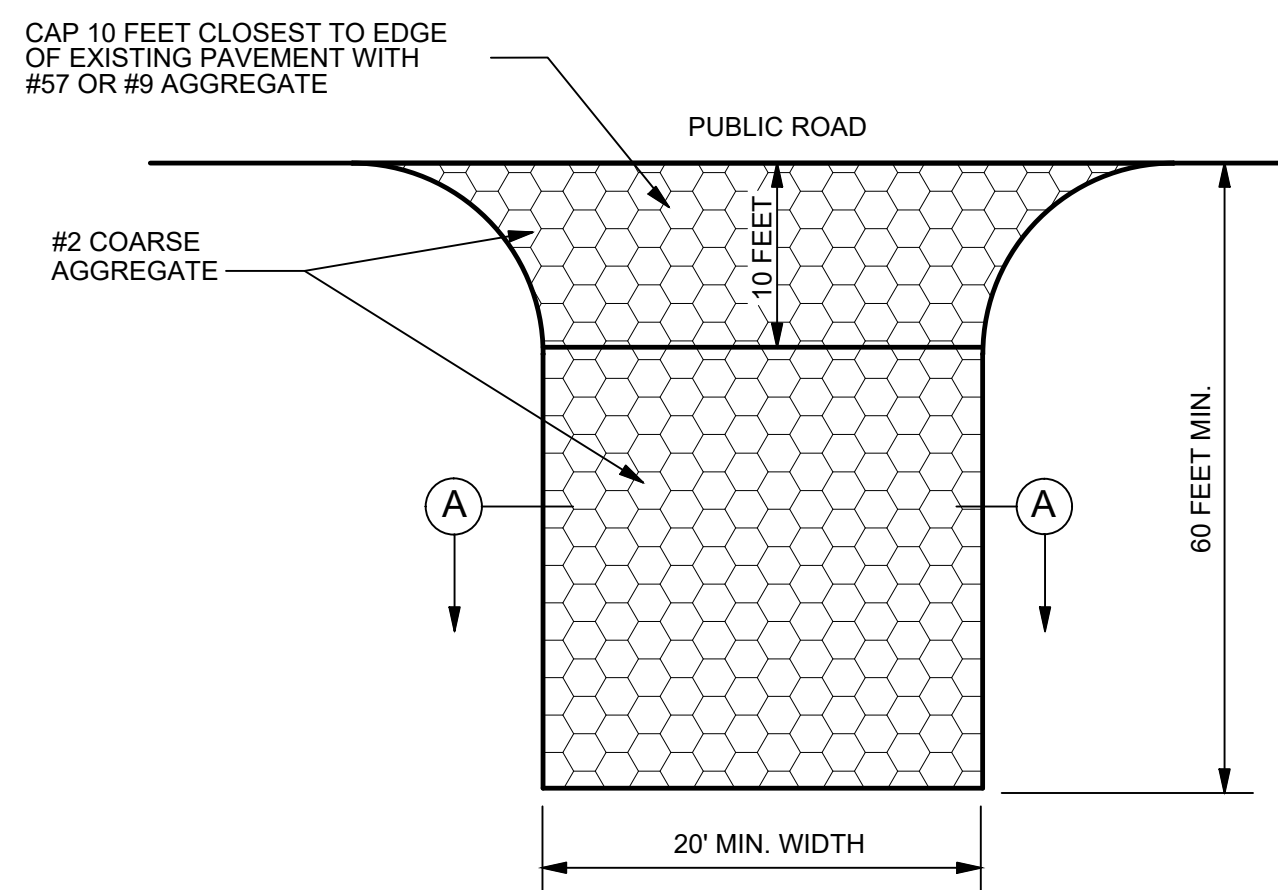
M
C-5 **DROP BOX INLET**
SCALE: N.T.S.



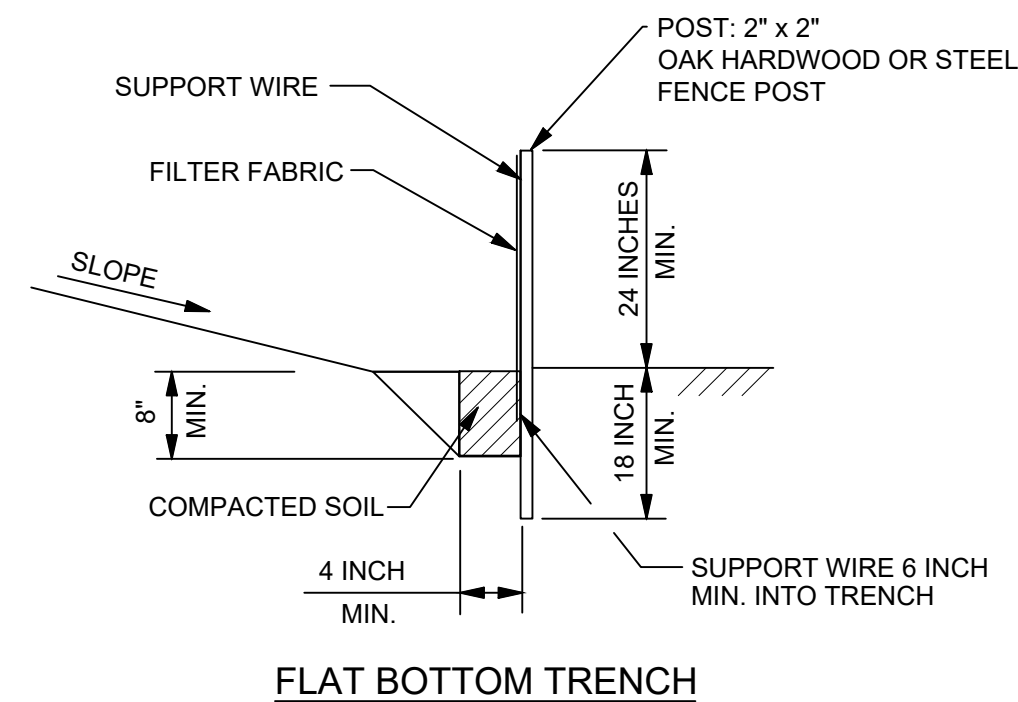
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C-5 **PIPE BEDDING DETAIL**
SCALE: N.T.S.



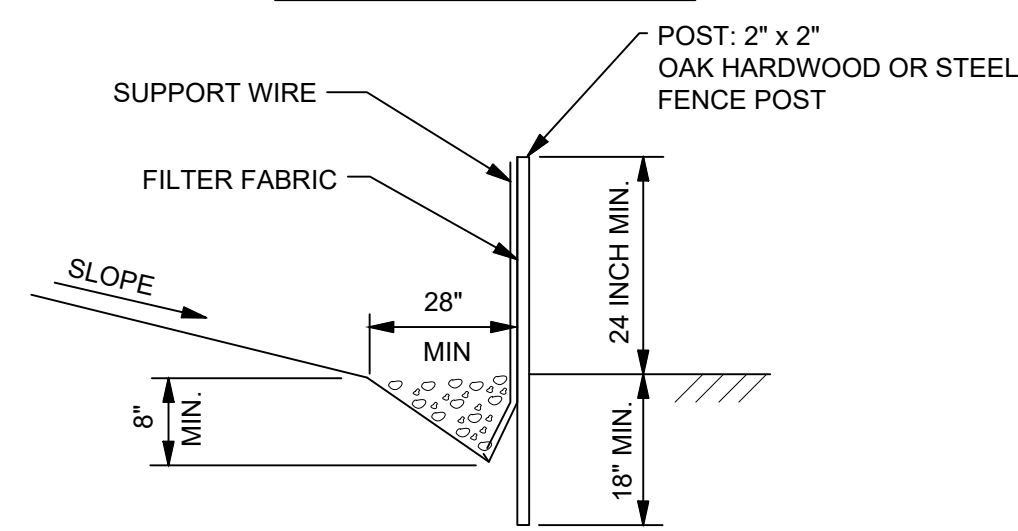
Q
C-5 **CLEAN-OUT**
SCALE: N.T.S.



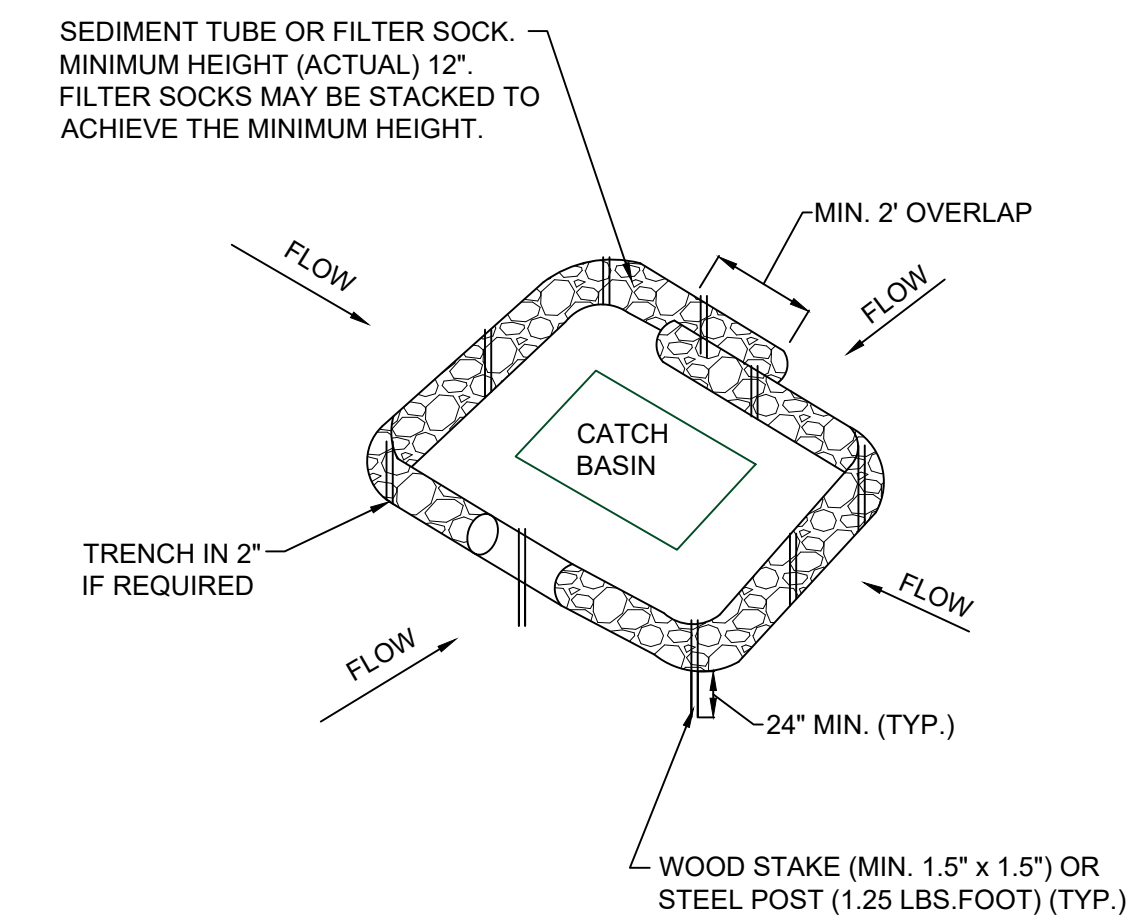
R
C-5 **TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EDXIT PAD**
SCALE: N.T.S.



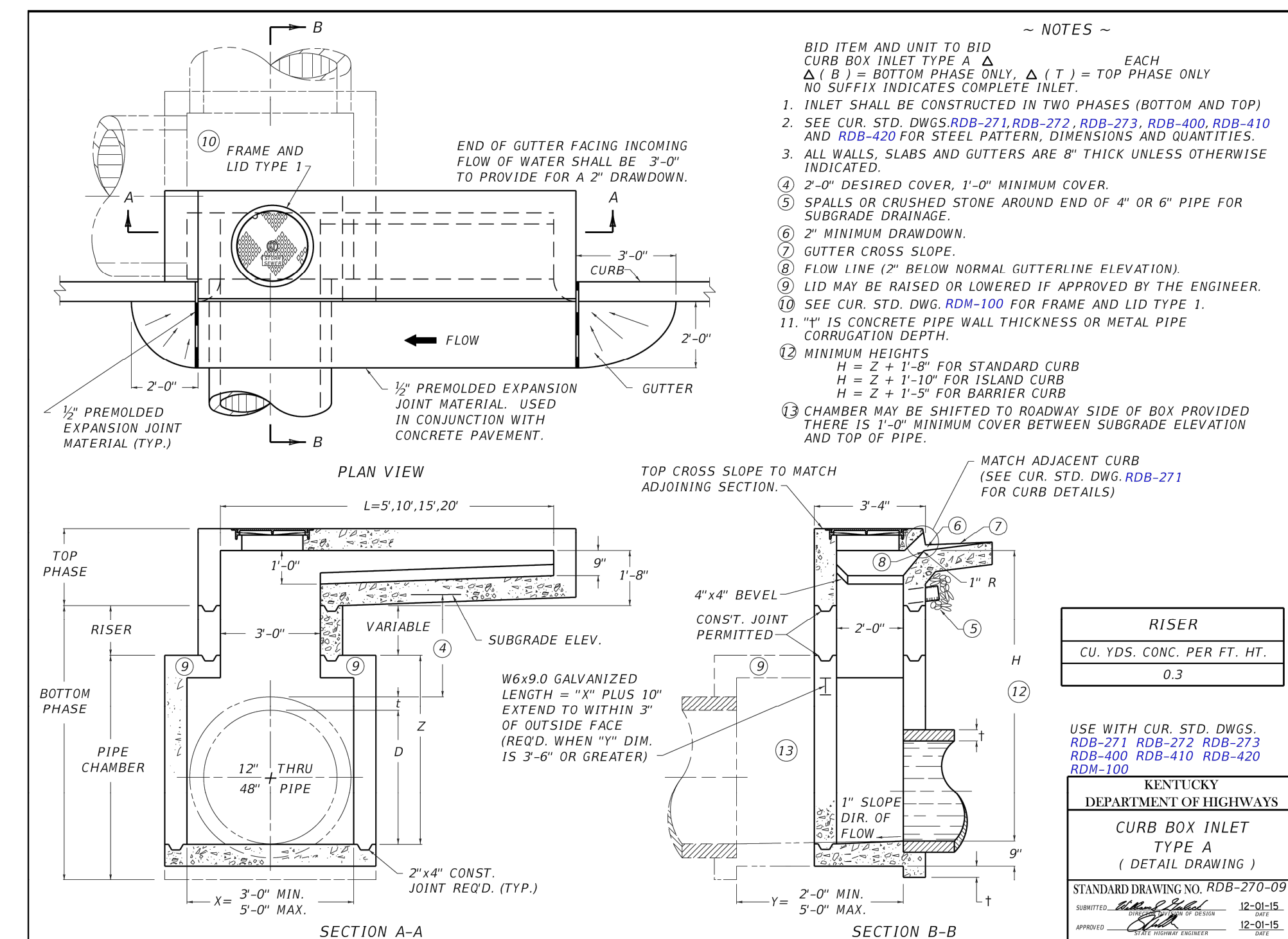
S
C-5 **SILT FENCE**
SCALE: N.T.S.



S
C-5 **SILT FENCE**
SCALE: N.T.S.



T
C-5 **INLET PROTECTION**
SCALE: N.T.S.



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