

CONTRACT PROPOSAL/
CONTRACT AGREEMENT
Project # 2024-NC-011

for the

DESIGN and Build
of the

**Nelson County Licensing &
Commonwealth Attorney Offices
Building**

located at

122 Plaza Drive, Bardstown, KY 40004

Nelson County Kentucky

10/2024

REQUEST FOR BIDS

Nelson County Licensing & Commonwealth Attorney Offices Renovation

Nelson County Fiscal Court will accept sealed bids for furnishing all labor, equipment, and material to design, build, and renovate the Nelson County Licensing & Commonwealth Attorney Offices Building to be located at 122 Plaza Drive, Bardstown, Kentucky

Sealed Bids will be opened on November 8, 2024 at 2:00 P.M. at the Nelson County Fiscal Court room located at One Court Square, Bardstown, Kentucky. Contract bid forms, project scope of work, plans, and specifications can be obtained at this office or at the Nelson County Engineer's office (Bradley T. Spalding, P.E.) at (502)348-1881.

The Nelson County reserves the right to reject any and/or all bids and waive formalities.

By Tim Hutchins,
Nelson County Judge Executive

This CONTRACT PROPOSAL/ACCEPTANCE by and between the

Nelson County Fiscal Court

(herein called the

owner)

and

(hereinafter called the Contractor).

The OWNER and the CONTRACTOR shall, in consideration of the mutual covenants hereinafter set forth, agree as follows:

1. WORK

The CONTRACTOR shall provide complete architectural design and construction services to complete all work as specified or indicated in these CONTRACT DOCUMENTS and the Scope of Work, SPECIFICATION 2024-NC-011. The work is generally described as follows: Provide all design and construction services necessary to renovate approximately 6,920 square feet of the existing 18,720 square feet building (Located in the Bardstown Plaza complex off U.S. Highway 150) which shall include the supply Architectural/Engineering services required for Building code approval, supply of all materials required, all necessary demolition, painting, interior walls construction, floors, doors & ceilings construction, lighting, plumbing, electrical/phone/internet/computer wiring, mechanical heating and air condition work required, all clean up associated with the project, and other incidental work necessary for the proper design and construction/renovation of the Nelson County Licensing & Commonwealth Attorney Offices Building in accordance with these contract documents.

2. CONTRACT DOCUMENTS & PLANS/SPECIFICATIONS

The new Nelson County Licensing & Commonwealth Attorney Offices shall be designed and constructed in accordance with this Contract Proposal/Contract Agreement, the attached plans, and Scope of Work, Specification entitled - **PROJECT # 2024-NC-011, Design & Build of the Nelson County Licensing & Commonwealth Attorney Offices Building Renovation, Nelson County, Kentucky**. The Contractor shall be responsible for design and construction of all the items in the scope of work specifications and in these Contract Proposal Documents.

3. CONTRACT TIME:

The time period for completion of this contract shall be 180 calendar days (completion date shall not extend past June 15, 2025) from the Notice to Proceed. The Notice to Proceed shall be issued once all contract documents have been signed, insurance, and bond requirements have been addressed and submitted.

A Notification of Contract Award shall be mailed to the contractor after the Nelson County

Fiscal Court has approved the contract bids. The Contractor shall provide all insurance and performance bond documents within two weeks of being issued a Notice of Contract Award. Failure to provide these documents shall be justification for Contract termination at no cost to the owner.

3.1 LIQUIDATED DAMAGES:

It is essential that this project be completed within 180 calendar days of the Notice to Proceed. Should the project not be completed by the contract completion date, then Liquidated Damages will be assessed.

Liquidated damages will be charged at a rate of \$500 dollars per day past the Contract Completion date.

4. CONTRACT INSPECTION:

Inspection for this contract including submittal of material used, requests for payment, and acceptance of work completed shall be performed by the OWNER's Registered Engineer - Bradley T. Spalding, P.E. (502)348-1881 and/or the – John Greenwell, P.E. phone # (502)348-1876.

4.1 The Owner (at their expense) may employ a third-party Quality Control Engineering firm to perform required testing and inspection if deemed necessary.

5. PROJECT SCHEDULE/PAYMENT PROCEDURES.

Prior to start of work, the CONTRACTOR shall submit a proposed schedule of work with estimated pay quantities assuring work shall be completed by Contract completion time.

Payment for work completed will be made once per month. Invoices for work completed less ten (10 %) percent retainage shall be submitted to the Project Engineer for approval no later than the Second (2nd) Wednesday of each month. Payment shall be made by the Nelson County Fiscal Court to the Contractor on the third Tuesday of each month.

6. UTILITIES/STORAGE SPACE

There will be storage space at the site available for trailers. Equipment may be stored at the site at the contractor's own discretion. Utilities such as potable water and electric are available at the site at the Contractors option to utilize and provide for temporary hookups.

The Contractor shall be responsible to secure the sight with the use of safety fencing or other means necessary to assure public safety.

7. BONDS:

A Bid bond, a Performance Bond, and a Labor & Material Payment Bond shall be required of the contractor by the OWNER prior to contract award. The **bid bond shall be equal to 5 % of bid amount** and shall be submitted with the Contractor's bid proposal. The Performance Bond, and Labor & Material Bond will be required within two weeks of the Notification of Contract Award. Failure to provide the Performance bond shall be justifications for contract termination at no cost to the Owner.

The Performance Bond and the Labor & Material Bond shall be in a penal sum at least equal to the Amount of the Contract bid Price, as security for faithful performance of all the SUPPLIER's obligations.

8. INDEMNIFICATION/INSURANCE:

The Contractor shall purchase and maintain at the Contractor's expense for the full contract period such insurance as in the following amounts:

Workman's Compensation:	Statutory
Employer's Liability	\$100,000
Comprehensive General Liability	
Bodily Injury Liability	\$1,000,000 Each occurrence
Personal Injury Liability	\$1,000,000 Each occurrence
Property Damage Liability	\$500,000 Each occurrence
Comprehensive Automobile Liability	
Bodily Injury Liability	\$500,000 Each person
	\$1,000,000 Each occurrence
Property Damage Liability	\$500,000 Each occurrence

The insurance shall cover claims which may arise from the Work performed with this contract which includes Claims under Worker's Compensation, disability benefits, and claims for damages because of bodily injury, personal injury, sickness or disease, or death of any of the CONTRACTOR's Employees or for any person other than the CONTRACTOR's Employees who may be hurt/injured/killed as a result of the Contractor's Work on this contract. *** The Contractor shall provide proof of insurance prior to start of work.

The Contractor shall indemnify and hold harmless the OWNER and the ENGINEER against all claims, damages, losses and expenses, arising out of or resulting from the performance of any work on this contract.

8.1 Warranty - All work accomplished by the Contractor shall be warranted against defect for a minimum of one year from final acceptance date.

9. SPECIAL CONDITIONS:

9.1 Architectural/Engineering Services:

This project requires the Design/Build Contractor to provide all Architectural and Engineering services necessary to provide the minimum necessary plans and documentation required to be submitted to and approved by the Kentucky Department of Housing, Building, and Construction (Address: the 127 Building - 1047 U.S. 127 South, Frankfort, KY, 40601, ph #502-564-8044) and any other required State or local agency having approval jurisdiction for this project.

The Contractor shall be responsible to assure all design and build services comply with all appropriate building codes, national electrical codes, plumbing codes, fire codes, and any other required design and construction regulations and/or codes.

Any fees associated with required permits shall be paid directly by the Nelson County Fiscal Court. The Contractor is responsible for completing all permit documents and associated information and shall provide a cost to the Nelson County Fiscal Court for the permit fees when payment is due.

The Contractor shall install individual utility meters for each of the Commonwealth Attorney's Office and Licensing Office.

10. BID PROPOSAL

BID FORM:

PROJECT # 2024-NC-011, Design & Build of the Nelson County Licensing & Commonwealth Attorney Offices Building, Nelson County, Kentucky

I, (name) _____ The duly authorized
representative of the CONTRACTOR, (Name) _____
of (address) _____,
(Phone) _____

do/does hereby propose to provide all labor, equipment, material and supplies necessary to design and build the **Nelson County Licensing & Commonwealth Attorney Offices Building Renovation** in accordance with Project #2024-NC-011 plans, scope of work specifications, and these bid documents for the following amount:

Bid Item 1 - (Commonwealth Attorney Space)

Design and build the Nelson County Commonwealth Attorney: which shall include necessary Architectural/Engineering services, the supply of all materials required, all necessary demolition, painting, interior walls construction, floors, doors & ceilings construction, windows, lighting, plumbing, electrical/phone/internet/computer wiring, new mechanical heating and air condition work required, all clean up associated with the project, and other incidental work necessary for the proper design and construction/renovation of the office building in accordance with these contract documents.

Contractors Bid \$ _____ **lump sum cost**

Deduct for Wood studs in lieu of metal \$ _____

Bid Item 2 - (Licensing Space)

Design and build the Nelson County Licensing: which shall include necessary Architectural/Engineering services, the supply of all materials required, all necessary demolition, painting, interior walls construction, floors, doors & ceilings construction, windows, lighting, plumbing, electrical/phone/internet/computer wiring, new mechanical heating and air condition work required, all clean up associated with the project, and other incidental work necessary for the proper design and construction/renovation of the office building in accordance with these contract documents.

Contractors Bid \$ _____ **lump sum cost**

Deduct for Wood studs in lieu of metal \$ _____

Bid Item 1 + 2 Total without Deducts \$ _____

The price submitted shall include providing individual utility services for each of the Commonwealth Attorney and Licensing areas.

It is understood that the Nelson County government will own and maintain this office building. That should my/our lump sum bids be accepted, I/we do hereby agree to design and renovate the Nelson County Commonwealth Attorney and Licensing Building as stated in these contract documents for the prices submitted on this form which shall include the supply of all materials required, all necessary demolition, painting, interior walls construction, floors, doors & ceilings construction, windows, lighting, electrical/phone/internet/computer wiring, mechanical heating and air condition work required, all clean up associated with the project, and other incidental work necessary for the proper design and construction/renovation of the office building.

This bid proposal shall be good for ninety (60) calendar days from bid opening date.

Respectively submitted by:

Name of Contracting Firm

Signature/Title

Date

(address/phone)

BID BOND ATTACHED

Note Addendums if Applicable

11. CONTRACT AGREEMENT:

THIS AGREEMENT is dated as of the _____ day of _____
in the year 2024 by and between the Nelson County Fiscal Court, Bardstown, Kentucky
(hereinafter called the OWNER)

and _____
(hereinafter called the CONTRACTOR).

The OWNER and the CONTRACTOR, in consideration of the mutual covenants hereinafter set forth, agree as follows:

a. WORK

The CONTRACTOR shall complete all Work as specified or indicated in the Contract Documents. The Work is generally described as follows:

Bid Item 1 - (Commonwealth Attorney Space)

Design and build the Nelson County Commonwealth Attorney: which shall include necessary Architectural/Engineering services, the supply of all materials required, all necessary demolition, painting, interior walls construction, floors, doors & ceilings construction, windows, lighting, plumbing, electrical/phone/internet/computer wiring, new mechanical heating and air condition work required, all clean up associated with the project, and other incidental work necessary for the proper design and construction/renovation of the office building in accordance with these contract documents.

Contractors Bid \$ _____ **lump sum cost**

Deduct for Wood studs in lieu of metal \$ _____

Bid Item 2 - (Licensing Space)

Design and build the Nelson County Licensing: which shall include necessary Architectural/Engineering services, the supply of all materials required, all necessary demolition, painting, interior walls construction, floors, doors & ceilings construction, windows, lighting, plumbing, electrical/phone/internet/computer wiring, new mechanical heating and air condition work required, all clean up associated with the project, and other incidental work necessary for the proper design and construction/renovation of the office building in accordance with these contract documents.

Contractors Bid \$ _____ **lump sum cost**

Deduct for Wood studs in lieu of metal \$ _____

Bid Item 1 + 2 Total without Deducts \$ _____
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The price submitted shall include providing individual utility services for each of the Commonwealth Attorney and Licensing areas.

b. CONTRACT TIME

b.1 The time periods authorized by the OWNER for the proper execution of the Work covered by this Contract, in full, is hereby fixed as follows:

Notice to Proceed - _____

Contract completion time - **180 Calendar days** past Notice To Proceed.

Notice to proceed shall be issued once performance bond and all insurance documents have been provided.

b.2 Liquidated Damages.

The OWNER and the CONTRACTOR recognize that time is of the essence of this Agreement and that the OWNER will suffer financial loss if the Work is not completed within the times specified above, plus any extensions thereof allowed by the owner in writing. They also recognize the delays, expense and difficulties involved in proving in a legal or arbitration proceeding the actual loss suffered by the OWNER if the Work is not completed on time. Accordingly, instead of requiring any such proof, the OWNER and the CONTRACTOR agree that as liquidated damages for delay (but not as a penalty) the CONTRACTOR shall pay the OWNER an amount of **\$500.00**, for each day that expires after the time of the contract completion date until the Work is complete.

d. PAYMENT PROCEDURES

The CONTRACTOR shall submit Applications for Payment in accordance with Section 5 of the contract proposal. Applications for Payment will be processed by the ENGINEER as provided in the proposal.

Progress Payments. The OWNER shall make progress payments on account of the Contract Price on the basis of the CONTRACTOR'S Applications for Payment as recommended by the ENGINEER monthly during construction as provided below. All progress payments will be on the basis of the progress of the measured Work and for materials suitably stored at the site of the Work up to the first day of that month as estimated by the ENGINEER less the aggregate of payments previously made and less such amounts as the ENGINEER shall determine, or the OWNER may withhold, in accordance with section 5 of the contract proposal.

Final Payment. Upon final completion and acceptance of the Work the OWNER shall pay the remainder of the Contract Price as recommended by the ENGINEER.

e. EXTRA WORK

The OWNER, without invalidating the Contract, may order extra work or make changes by altering, adding to, or deducting from the Work, as provided in the Contract Documents. If the change requires an adjustment in the Contract Price then all such work shall be executed and paid for in accordance with the article entitled "Changes in the Work" of the General Conditions, which is a part of this Contract with the Contract sum being adjusted accordingly.

f. SPECIAL NOTICE

Bidders having been required to inform themselves fully of the conditions relating to construction and labor under which the work will be or is now being performed, this CONTRACTOR shall employ, as far as possible, such methods and means in carrying out his work as will not cause any interference or interruption with any other CONTRACTOR.

g. CONTRACT AGREEMENT

No assignment by a party hereto of any rights under or interests in the Contract Documents will be binding on another party hereto without the written consent of the party sought to be bound; and specifically but without limitation moneys that may become due and moneys that are due may not be assigned without such consent (except to the extent that the effect of this restriction may be limited by law), and unless specifically stated to the contrary in any written consent to an assignment no assignment will release or discharge the assignor from any duty or responsibility under the Contract Documents.

The OWNER and the CONTRACTOR each binds itself, its partners, successors, assigns

and legal representatives to the other party hereto, its partners, successors, assigns and legal representatives in respect of all covenants, agreements and obligations contained in the Contract Documents.

IN WITNESS WHEREOF, the OWNER and the CONTRACTOR have signed ____ copies of this Agreement the year and day first hereinbefore written.

WITNESSES: _____

_____ By _____

_____ Title

_____ By _____

_____ Title

Address for giving notices

_____ Telephone Number

(Seal)

NELSON COUNTY FISCAL COURT

By _____

Tim Hutchins, Judge Executive

Address for giving notices

One Court Square

Bardstown, Kentucky 40004

Nelson County Fiscal Court

SCOPE OF WORK
SPECIFICATION #2024-NC-011

for

Design and Build
of the

**Nelson County Licensing & Commonwealth Attorney Offices
Building Renovation,**

Nelson County, Kentucky

located at

122 Plaza Drive, Bardstown, KY 40004

Nelson County Kentucky

GENERAL:

1.0 The contractor shall be responsible provide Architectural/Engineering services necessary to provide the minimum plans required to be submitted to the appropriate State or Local agency for review and approval as required in section 9.0 Special Conditions of the Contract Proposal/Contract Agreement documents. All design and construction work shall comply with the latest building codes.

1.2 These Scope of Work specifications represent the minimum quantity and quality of materials to be utilized for this project. The these scope of work specifications, proposed plans, and proposed room schedule identifies: materials to be used in all rooms, wall materials, ceiling heights, room size, floor material, doors, etc.

1.3 The Contract Plans represent the proposed floor layout, proposed, electrical/phone/internet/computer wiring plan, lighting layout, typical (minimum) construction standards, etc. to be utilized. The Contractor shall be totally responsible to assure that the final design and construction complies with all building, plumbing, electrical codes required for building occupancy and use.

1.4 The CONTRACTOR shall be responsible to order material when needed assuring proper size and amount of material required, coordinate delivery, unload, and protect all material.

1.5 The renovation area shall meet all Kentucky building codes and accessibility specifications in accordance with ADA, as enforced by the Department of Housing, Buildings and Construction, Division of Building Codes Enforcement. The Division of Building Codes Enforcement may require a set of construction plans from the property owner. The Contractor is required to submit a copy of these plans to the Owner, as approved by the Division of Building Codes Enforcement, to the Division of Real Properties. The Contractor (i.e., architect, contractor, etc.) shall be responsible for determining/complying with the requirements of the Division of Building Codes Enforcement. Issues such as fire rated corridors, fire suppression systems (if applicable), HVAC installation, etc. are not addressed in the space planning information (i.e., floor plans and specifications) provided by the Division of Real Properties.

1.6. Separate utility meters are to be installed for each utility for the Commonwealth Attorney Space and the Licensing space separately. If existing meters need to be relocated due to codes, the Contractor shall include the cost for relocations within the bid.

Demolition Required:

1. All existing drop ceiling and/or supporting system, existing duct work, floor material, partition walls, wiring, plumbing, service panels, lights, ducts, and other associated structures in the area to be renovated shall be demolished and removed to allow the installation of all new walls, doors, windows, wiring, flooring, lighting, plumbing, etc. . .

1a. All Existing exterior windows, and doors shall remain. Accommodations for new doors as shown on the plans shall be made by saw cutting masonry and framing opening to accept new doors and windows. All rough framing shall be by use of treated wood (2 x) materials with appropriately sized lintels provided.

Construction Required:

1.0 Wall Construction

Walls shall be constructed of steel studs and gypsum board complying with the following minimum specifications.

Floor-to-ceiling walls shall be constructed as indicated on the floor plan. Install acoustical insulation (R-11 or equivalent) or soundboard in interior walls if/where indicated on the floor plan.

The Contractor shall insulate exterior walls at a minimum R-13 or equivalent

* Wood Studs (if allowed by Fire codes) shall be provided as a bid option credit

1.1 Steel Studs - shall comply with ASTM A 645, G60 zinc coating per ASTM A525, min yield 33 ksi, with 1-1/4" flange bent back at 90 degrees and doubled over to form 3/16" wide min. lip (return).

Studs shall be length required to span continuously from floor to underside of structure above. Contractor shall frame around existing ducts pipes etc. as necessary.

1.2 Exterior walls - min. 20 ga., 16" o.c.

1.3 Interior walls - min. 25 ga., 16" o.c.

1.4 Runners- ASTM C645, standard 20 ga., channel type with 1.25" flange, protective coating to match studs.

1.5 Deflection Tracks, Head Slip Tacks, Deflection & Fire stop Tracks comply with ASTM C 645 with material and protective coating to match studs. Designed for intended use and industry standards.

1.6 Steel Rigid Furring Channels, - ASTM C 645, G 40 zinc coated per ASTM A525, hat shaped, 25 ga., 7/8" deep unless required otherwise.

1.7 All misc. sheet metal angles, steel channels, bridging clips, fasteners for metal framing, and other accessories shall comply with industry standards for material and construction of metal studded, gypsum partition walls.

1.8.1 Gypsum Wallboard - 5/8" thick - regular type, or other as required for fire ratings, when necessary, as determined by the design/build contractor's Architect/Engineer. All edge trim, corner beads, joint controls, etc. shall comply with industry standards.

1.8.2 Gypsum panels shall be fit around pipes, ducts, conduits, etc. in accordance with fire codes and gypsum supplier recommendations.

1.8.3 Install water resistant gypsum board in rooms restrooms or other areas as required by building codes.

1.9.1 Commonwealth Attorney Space - in the reception area and conference room, install a chair rail at a height of 32" from the floor. Chair rail to be 2.5-3-inches in height, pine with design approved by the Owner.

1.9.2 Licensing Space - install a chair rail at a height of 32" from the floor in the two reception areas and conference room. Chair rail to be 2.5-3-inches in height, pine with design approved by the Owner.

1.9.3 The Contractor shall provide in the janitorial closet, metal shelving floor to ceiling as shown on the drawings and a built-in floor sink with drain at a height of 10" to 12" from the floor

1.9.4 Commonwealth Attorney Space: One pass through window(s) (1/4" tempered glass) and window counter(s) shall be installed as shown on the floor plan. The counter(s) shall be at a height of 42" from the floor, with a 16" deep laminated surface.

2.0 Flooring

Concrete flooring Repair -

All flooring shall be installed on the repaired concrete flooring in accordance with industry standards and manufacturer's requirements. All existing concrete (after plumbing installation) shall be repaired and leveled utilizing a grout or epoxy/grout or Kem Coat Epoxy Filler/Sealer applied in accordance with manufacturer's requirements (Sherwin Williams). Repaired concrete shall be smooth and uniform and acceptable to receive flooring system (carpet, VCT, Ceramic tile, etc.)

Licensing Area

Vinyl Tile composition tile in the "Blue Gray" color (Armstrong Flooring Item Number 51903) shall be installed in the vestibule, restrooms, breakroom, storage, janitor as indicated on the floor plan. Commercial grade carpet tiles in the "Bootcut" color (Mohawk Group GT177 Jean Tile) shall be installed in all other areas. Cove/wall base in the "Graphite Gray" (Armstrong Flooring Item Number R4161) shall be installed as appropriate throughout the leased premises. Substantially similar colors for alternative floor coverings are acceptable subject to review and approval by the Owner and the Division of Real Properties. If an alternate source for floor coverings is proposed the Contractor shall provide appropriate identifying information and/or samples for review.

Commonwealth Attorney Space

Luxury Vinyl Tile shall be installed throughout the office space. Color, size and trim to be selected by the Owner.

3.0 Ceiling Construction:

3.1 Acoustical Ceiling Panels (ACP): shall be non-combustible and comply with fire codes for flame spread and flame resistance ratings required for office buildings.

3.11 ACP shall be 2 ft by 2 ft, following minimal requirements:

Noise reduction coefficient (NRC)= 0.50-0.60 range

Ceiling attenuation Class (CAC) = 35-39

Light Reflectance (LR) = LR-1

R-Value = 1.85 or better.

3.2 Suspension system - Structural Classification-Intermediate Duty system - sized for 12 PSF, Hanger wires shall be not less than 12-gauge, galvanized carbon steel, soft tempered, Class 1 coating.

Design/build contractor shall utilize Fire rated System where and if required.

3.2.1 Suspension system shall be white baked enamel finish. Shall be a 24" by 24" grid system.

3.2.2 An acoustical tile ceiling shall be installed at a height of 9'.

3.3 The acoustical ceiling system shall be installed in accordance with manufacturer's recommendations and CISCA "Ceiling system Handbook". The spacing, attachments, and construction of the acoustical ceiling system shall be constructed in accordance with industry standards. Lay in light fixtures shall be suspended with wires at each corner of light fixture.

3.4 The Contractor/designer shall be responsible to install suspension system so not to interfere with existing pipes, ducts, conduit, etc.

4.0 Painting & Wall Coverings

Licensing Area

All walls shall be drywalled and painted a washable latex paint in the "March Wind" color (Sherwin Williams), a substantially similar paint color from alternate manufacturers is acceptable subject to review and approval by the Owner and the Division of Real Properties. Walls require a primer coat (sprayed or rolled) and two finish coats (rolled).

Commonwealth Attorney

All walls shall be drywalled and painted a scrubbable neutral color latex enamel paint with either a satin or eggshell finish. Walls require a primer coat (sprayed or rolled) and two finish coats (rolled). Color to be determined by the Owner.

4.3 Wood Trim - shall be painted as selected by the owner for all window trim and door trim (if wood).

4.31 Painted Trim

One (1) coat undercoat.

Two (2) coats

Colors shall be selected by owner

4.4 Metal Doors & Metal Frames & metal trim - painted as follows

Doors & frames & trim shall be factory primed

Exterior Metal Doors -Two (2) coats Sherwin Williams A-100 Exterior Latex Satin (or

approved equal)

Interior Metal doors - Two (2) coats Sherwin Williams Interior Latex Pro-Mar 200 Eg-Shell (or approved equal) Enamel

Colors shall be selected by owner

4.5 Wood Doors - Factory Finished per specifications

5.0 Doors & Frames:

5.1 Flush Wood Doors (FWD) -

Flush wood doors shall be fire rated if required for the design and application.

5.13 FWD Doors shall have a lifetime warranty against any defect which makes them unsuitable for use (warping in excess of 1/4" in 8'-0"). Warranty shall provide complete replacement and installation.

5.14 FWD Doors shall be solid core, 1-3/4" thick of sizes as shown on the plans.

5.2 Steel Doors-

Steel Personnel doors shall be placed for the two new rear exit exterior doors as shown on the plans.

5.20 MATERIALS

5.21 Steel Doors Shall comply with Steel Door Institute, "Recommended Specifications, Standard Steel Door and Frames" (SDI 100 /ANSI A250.8).

Provide units of galvanized steel in the following locations:

1. Exterior openings.

5.22 Doors leafs shall be standard duty, seamless hollow metal construction, shall be sized accordingly, 1-3/4" thick, with **18-gauge** seamless galvanized steel face. Top and bottoms shall be not less than 16 gauge channels with Core to be rigid polystyrene foam core. Door leafs shall be mortised for 4-1/2" x 4-1/2" template hinges and prepared for Government series 160 type lock sets or deadbolts.

5.23. Full Flush Panel Doors: Level 2, Model 2 (F) min. 18-gauge factory primed to receive paint finish

5.24. Steel doors shall be fire rated if required for the design and application. Contractor designer shall assure doors and frames assemblies comply with NFPA 80.

5.25 Steel doors shall be insulated with rigid polystyrene foam core

5.3. Steel Frames:

5.31 Steel frames are required for doors for all exterior doors. Concealed fastenings unless approved otherwise. Frames shall be constructed of 16 gauge steel with mitered and welded corners. Exterior frames shall be of hot dipped galvanized.

All new personnel doors shall be furnished with steel door frames with integral stops and trim.

Door frames shall be 16-gauge steel, 2" face, depth necessary for application (ext. Block walls, interior drywall, etc.) with mortised hinge jambs. Lock jambs shall be prepared for Government series 160 lock strike jambs or proposed equal lockset.

5.32 Door silencers shall be installed on weather-stripped frames on strike jambs.

The design/build contractor shall provide door hardware which complies with fire, safety, and ADA access code/requirements. Hinges shall be fully mortised. Lockset shall be mortised, lever turn, ADA approved. Panic Hardware shall be push through touch pad design and comply with Fire Exit requirements. Door closures shall be surface closure and labeled when required for fire codes.

Hardware shall comply with fire/safety exit codes.

The Contractor shall install electronic locks on interior door(s), equipped with remote openers (i.e., release buzzers, ADA compliant controls, etc.) if/as shown on the floor plan.

The Contractor shall install ADA compliant automatic door opening equipment on the exterior door(s) of the property if/as shown on the floor plan in compliance with the requirements of the Division of Building Codes Enforcement. If a vestibule or airlock is shown, automatic door opening equipment shall be installed on both sets of doors and programmed so that the doors operate simultaneously.

MECHANICAL

6.0 PLUMBING -

Provide all design and plumbing plans required for all fixtures shown on the plans.

Rest rooms must comply with ADA requirements

Water fountains shall be installed as shown on the floor plan, or as approved by the Division of Building Codes Enforcement. Water fountain shall be a bottle filled type. Electric Water Cooler - 8 GPH of 50 deg F water @ 90 deg room temp.- stainless steel basin, Mount spout at 36" AFF.

6.01 Potable Water Service:

1. All potable water lines (hot & cold) inside building shall be copper sized for fixtures to be served complying with State Plumbing codes. The contractor shall have approval from the owner prior to use of different materials other than copper.
2. Hot and/or cold water shall be provided to all fixtures shown on the plans. Cold water lines shall be provided to all toilet fixtures. All fixtures' supply lines shall be valved (including water heater) at the fixture.

6.02 Waste Plumbing:

1. The basic waste plumbing is not shown and shall be the responsibility of the contractor to properly size. Contractor shall Saw Cut concrete and remove floor as required for all drains and traps for fixtures shown. All areas shall be repaired with concrete.
2. All connections, slopes, vents (not shown), traps, etc. shall be installed in accordance with the Kentucky State Plumbing Regulations & Codes.
3. All PVC material used shall be Schedule 40 unless approved otherwise.
4. Floor Drains shall be supplied and installed in all bathrooms, shower rooms, and janitor's closet

6.1 Plumbing Fixtures required shall comply with the following minimum standards,

6.1 Amer Standard (Disabled) Closet Set (flush tank) & open Front Seat, Vitreous China-floor mounted, Low consumption, siphon jet, With water Supply line/valve

6.2 60 gal elect Water heater - W/Temp Pressure - 1

6.3 Laundry Tub Floor Mount

6.4.1 Licensing Area Breakroom - Double Bowl Stainless Sink - 33 x18, 18 ga, 3-hole, center faucet. 84" cabinets above and below with a countertop.

6.4.2 Commonwealth Attorney Space Breakroom - Single Bowl Stainless Sink – 24 x18, 18 ga, 3-hole, center faucet. 60" cabinets above and below with a countertop.

Cabinets shall be plastic-laminate with shelving, drawers and pulls. (color selected by Owner).

Countertops shall be plastic-laminate minimum 1-inch thick (use moisture resistant type within 3 feet of sink cutout. Surface with Horizontal Grade Standard high-pressure decorative laminate with balanced backer sheeting. Color selected by Owner.

6.5 Keyed wall Hydrant - one at each restroom

6.6 Floors drains - all restrooms, janitor's closet and mechanical room shall have floor drains & and comply with state plumbing codes.

6.7 Toilet & Bath Accessories:

Rest rooms and be furnished with hot and cold water, toilet tissue holders, soap dispensers, paper towel dispensers, and mirrors. Prior to installation, the Contractor shall verify with Commonwealth of Kentucky the type of dispensers required for products currently on Commonwealth of Kentucky price contract.

Grab bars - handicap compliance, "L" shaped, 36" & 42", at each water closet.
Framed Mirrors at each lavatory Width of lavatory (24") by 36" high

6.8 Floor Drains - with trap provided in restrooms and janitor's closet

7.0 Heating, Ventilation, and Air Condition (HVAC).

7.1 The Design/build contractor shall provide with the lump sum bid the cost to provide central heat and air conditioning (HVAC) throughout the renovation areas. The HVAC system shall be installed in conformance with Kentucky building codes, as administered by the Kentucky Department of Housing, Buildings and Construction. The Contractor shall also install an adequate fresh air handling system in accordance with applicable ASHRAE Standard 62, which requires ventilation of 20 CFM per person for office areas, CFM shall be calculated based on a density of seven persons per 1,000 square feet.

7.2 All main supply & return duct work shall constructed of sheet metal (insulated) of appropriate gauge based on duct size and building codes. Insulated Flexible duct may be utilized for the branch areas runouts and shall not exceed five feet in length. Individual returns to the main trunk return shall be provided for all offices.

7.3 Registers, Grilles, Diffusers, & Louvers all supply air diffusers shall be provided and suitable for a commercial office type style/setting.

7.4 Electronic thermostats with programmable functions shall be installed. A standard locking cover shall be installed on the thermostat.

7.5 The entire HVAC system shall be tested, balanced, and certified in accordance with industry standards.

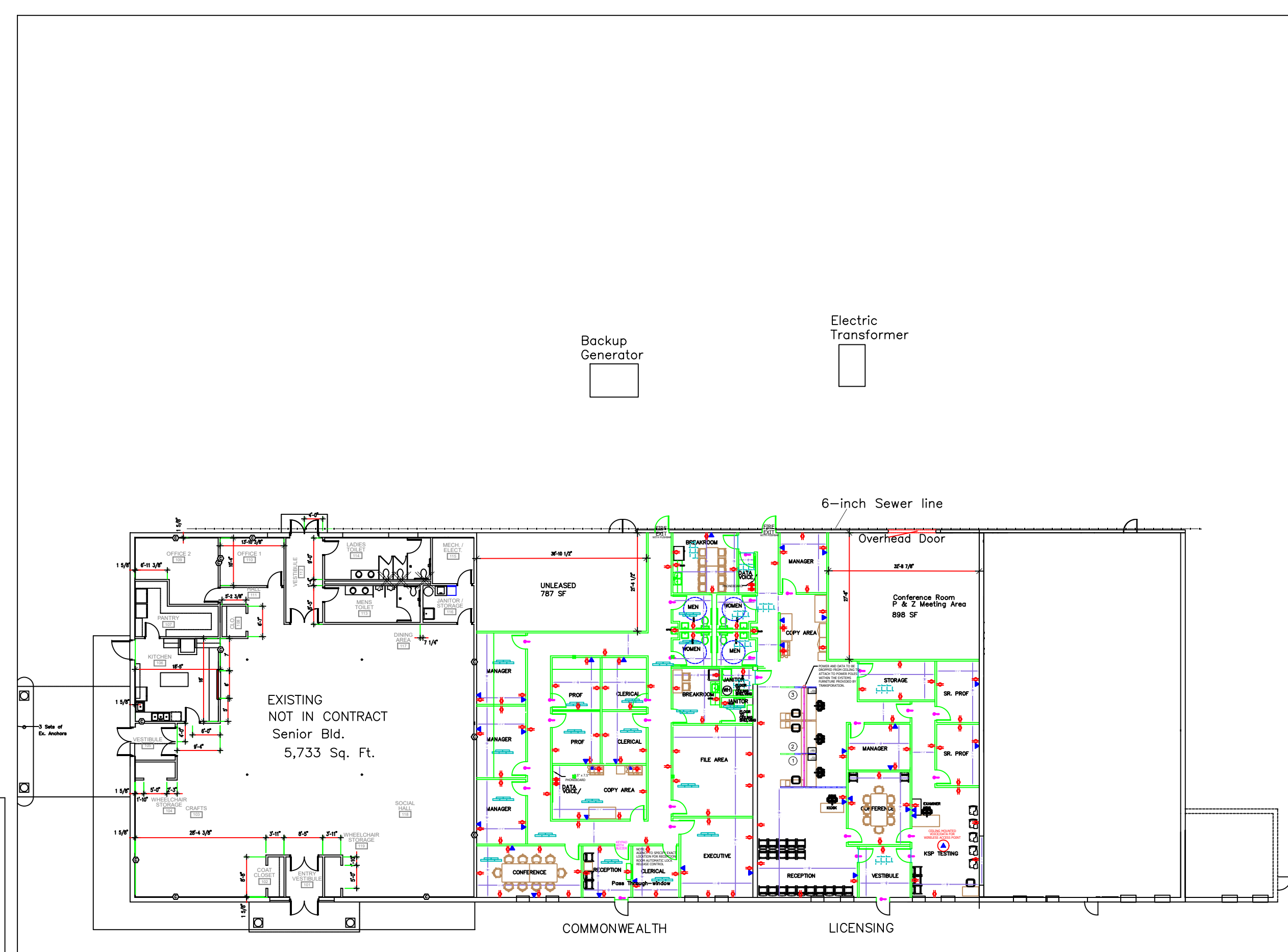
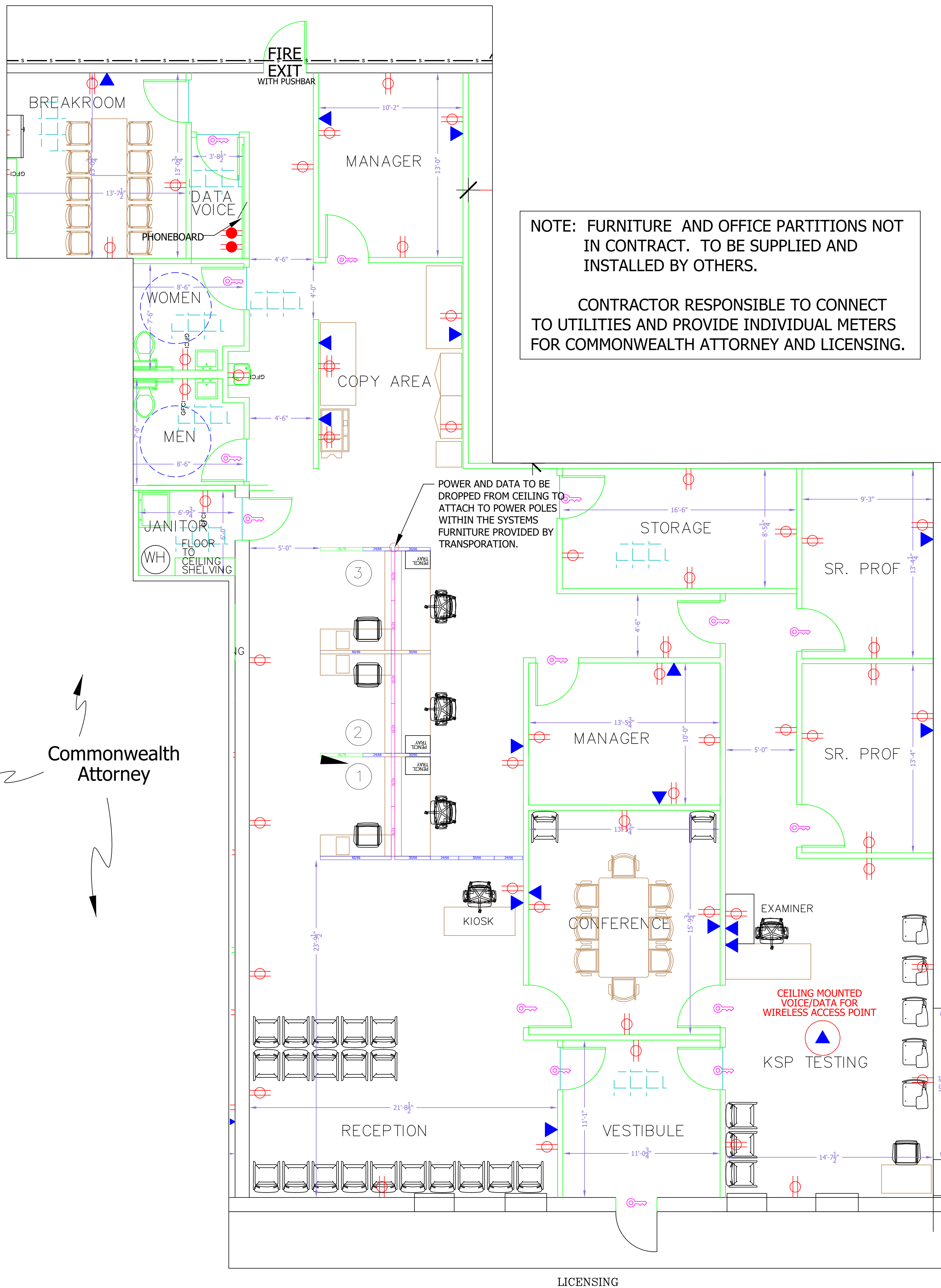
7.6 Each unit shall be properly installed on the existing roof system in accordance with manufacturer's requirements. The design/build contractor shall review the roof supports and assure structural capacity of the roof, bar joist, columns, etc. Repairs to the existing roof system shall be included in the cost of the project.

8.0 TELEPHONE/COMPUTER ACCESS/ELECTRICAL FIT UP

The design/ build contractor shall provide necessary Engineering to properly size and install all circuits, wiring, grounding rods, GFI's, switches, light fixtures, service panel shown on the plans. New Electric Panels shall be sized and conform to the National Electric Code. The contractor shall be required to assure all electrical work is properly installed to meet all requirements of the NEC.

- 8.1. Adequate recessed fluorescent lighting shall be installed for office use, including telephone/storage rooms, with separate light switches for each room. Fixtures shall be T-8 type fixtures with electronic ballasts.
- 8.2. Area(s) subject to intermittent use shall be equipped with motion sensitive light switches and a manual override switch as shown on the floor plan.
- 8.3. All exit and directional lights shall be the LED type.
- 8.4. A dedicated circuit is required for copier(s) and other equipment as noted on floor plan.
- 8.5. Appropriate electrical and telephone outlets are to be installed where indicated on the floor plan. The Contractor shall also provide access to phone outlets by conduit. Electrical circuits in the electrical panel box shall be labeled and identified. Contractor shall install electrical surge protection for the main electric service.
- 8.6. The Contractor shall install a three-wire, 117 volt, 60 Hz single phase, 20 AMP dedicated 4-plex AC outlet in the wall located within 4' of the telephone system for each telephone system installed in building. ***NOTE: The third wire, or ground wire, in this circuit shall be connected to earth/ground.***
- 8.7. The Contractor shall install a 5/8", 4' x 8' sheet of plywood (painted black) on the wall in the telephone equipment room for each telephone system installed. If space permits, the plywood will be mounted horizontally.
- 8.8. The Contractor shall install an entrance conduit with pull string with a minimum diameter of 4", or other size as recommended by the local telephone service provider (the Contractor shall contact the local telephone service provider to determine service entrance requirements and conduit size), through the foundation or building wall to facilitate the incoming telephone service cable to a predetermined telephone company "network access unit" (demarcation point) location within the building. If the "network access unit" does not terminate in the telephone equipment room, the Contractor shall install conduit from the "network access unit" location to the telephone equipment room. ***Note: The number and size of this conduit depends on the terminal devices served on a floor, the type of cable used, and the need to use one cable or a cable per floor. At least one spare conduit of the same size with a pull wire should be installed for future expansion.***

- 8.9. The Contractor shall be responsible for providing a closable HVAC vent and cold air return for the telephone equipment room.
- 8.10. Conduit, cable tray, or raceway fill rate is to comply with the National Electrical Code.
- 8.11. The Contractor in coordination with the Owner shall obtain basic phone service, including at a minimum the installation of a network access unit (demarcation point).
- 8.12. The Contractor shall provide empty conduit with pull string within the walls from the ceiling on locations shown on the floor plan as voice/data outlets. Install a cut-in box where conduit symbols are shown on the floor plan, the conduit should have smooth edged bushings at the box and above the ceiling. One inch (1") conduit shall be provided for data terminals, printers, and telephone instruments from each designated outlet location. ***NOTE: In most instances, voice/data cables (from individual office conduits) merge above the ceiling and should be supported by cable trays or pass through conduits (sized by number of outlets in the building) to the telephone equipment room or controller location. There is ONE/TWO controller(s) requiring a dedicated circuit. A dedicated circuit is also required for every two printers.***
- 8.13. The Design Build Contractor shall provide the necessary circuits and disconnects required by the NEC for the roof mounted HVAC units. New electric panels shall be installed. The Contractor shall be responsible to visit the site to determine existing conduit to these areas from the pad mounted transformer at the rear of the building extending to the rear of the building.
- 8.14. Exhaust Fan in restrooms – as required by building codes.



Note 2
Install concrete block to fill open area of wall. shall include all rebar, ties and connections as needed.

Note 2

LEGEND

	EXISTING WALL TO REMAIN
	NEW WALL
	NEW SOUNDPROOF WALL
	20 AMP 110 DUPLEX ELECTRICAL OUTLET
	110 DEDICATED ELECTRICAL OUTLET
	110 FOURPLEX ELECTRICAL OUTLET
	DEDICATED 110 FOURPLEX ELECTRICAL OUTLET
	DEDICATED 220 ELECTRICAL OUTLET
	MOTION SENSITIVE LIGHT SWITCH W/ MANUAL OVERRIDE SWITCH
	VOICE / DATA OUTLET
	LOCKABLE DOOR
	VINYL FLOOR TILE
	20 AMP 110 DUPLEX ELECTRICAL OUTLET
	VOICE / DATA OUTLET

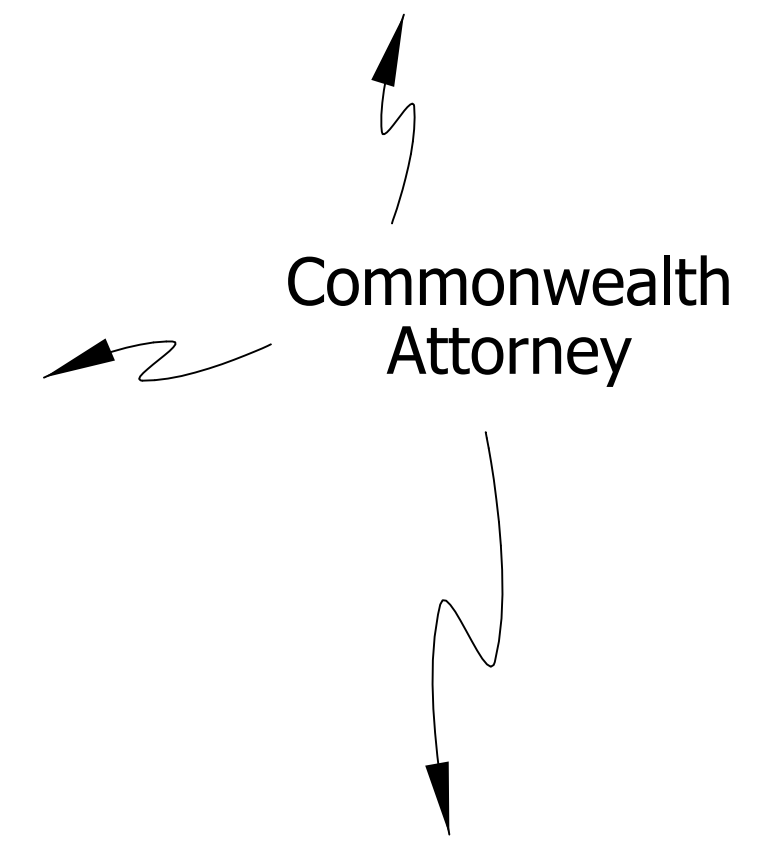
NOTES

- * SCALED DRAWING SHOWS MEASUREMENTS FROM FINISHED INTERIOR WALL TO FINISHED INTERIOR WALL, UNLESS OTHERWISE NOTED.
- * ELECTRICAL OUTLETS ARE SHOWN WHERE NEEDED BY THE OCCUPANT. LOCATE ALL OTHERS ACCORDING TO CODE.
- * PRIOR TO INITIATING CONSTRUCTION, PROPERTY OWNER/CONTRACTOR SHALL VERIFY ALL MEASUREMENTS DEPICTED BY SCALED DRAWING.
- * INTERIOR SPACE/FLOORPLAN OF FINISHED CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL ADA REGULATIONS, STANDARDS SET BY THE DEPT. OF BUILDING CODES ENFORCEMENT, AND THAT OF THE KY.OCCUPATIONAL SAFETY AND HEALTH STANDARDS BOARD.
- * THIS DRAWING REPRESENTS THE APPROVED SPACE PLAN. NO CHANGES IN THIS LAYOUT ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE DIVISION OF REAL PROPERTIES (502) 564-2319. ANY CHANGES REQUIRED BY THE DIVISION OF CODE ENFORCEMENT WILL BE APPROVED, AFTER THEY HAVE BEEN REVIEWED BY THIS OFFICE. THE APPROVED PLAN WILL BE USED FOR THE FINAL WALKTHROUGH INSPECTION, AND LESSOR WILL BE RESPONSIBLE FOR CORRECTING ALL UNAUTHORIZED DEVIATIONS.

REVISIONS

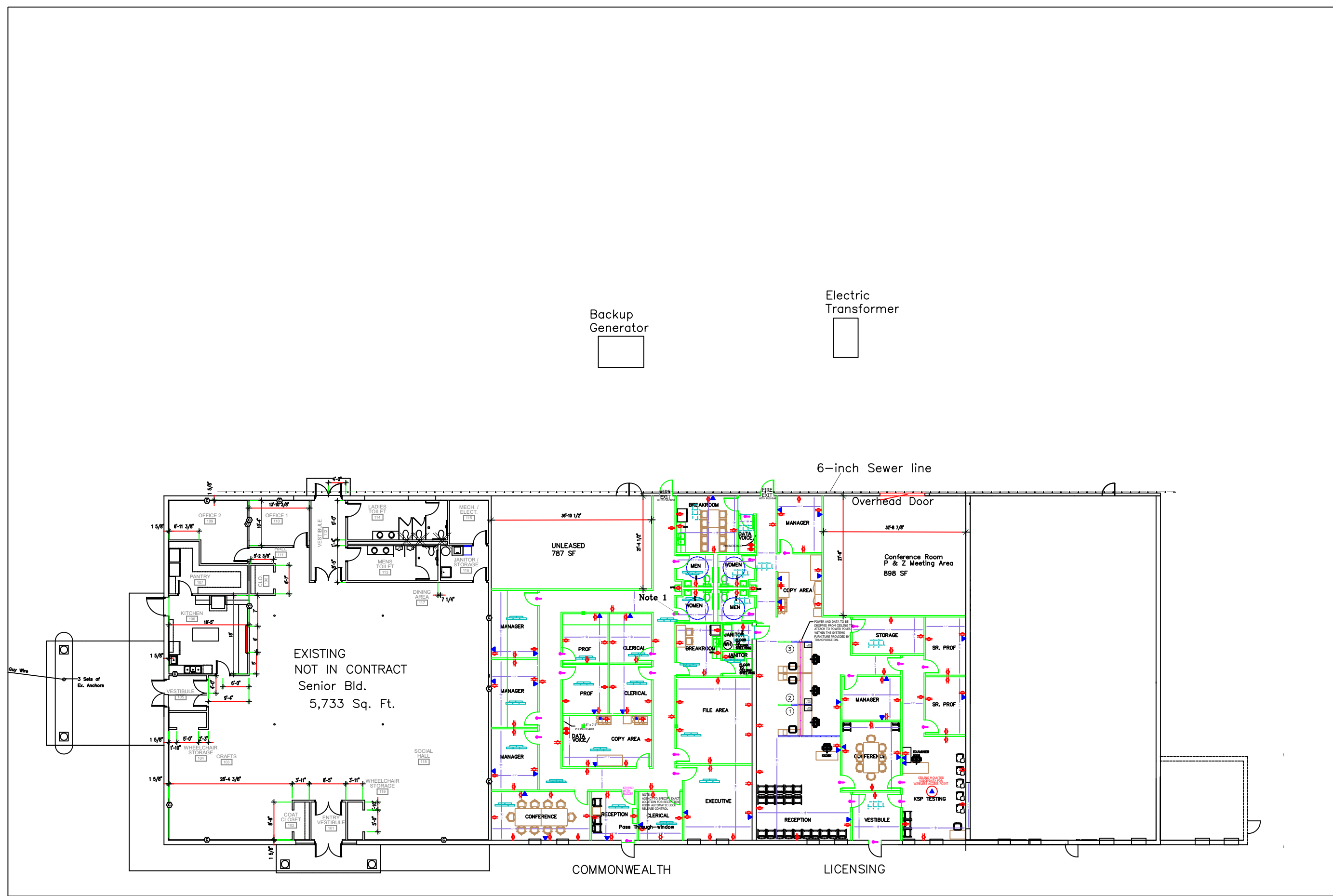
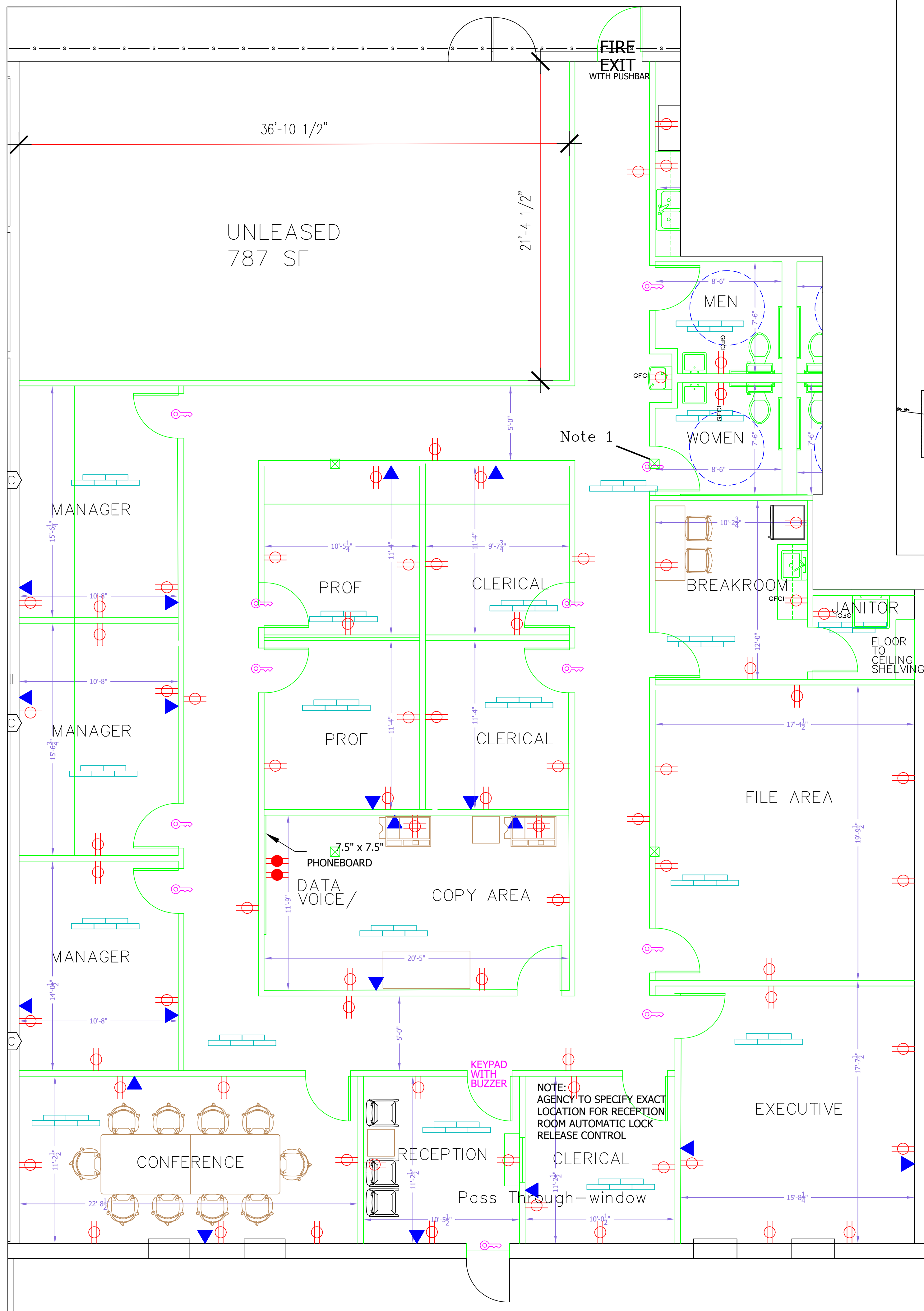
- 7/15/24 B.LANE - REVISED LAYOUT PER LESSOR
- 8/3/24 B.LANE - REVISED LAYOUT
- 8/18/24 - B.LANE ADDED DETAILS

COMMONWEALTH OF KENTUCKY
DIVISION OF REAL PROPERTIES
PLANNING AND UTILIZATION BRANCH
THIRD FLOOR BUSH BUILDING
403 WAPPING STREET
FRANKFORT, KY. 40601
(502) 564-5490



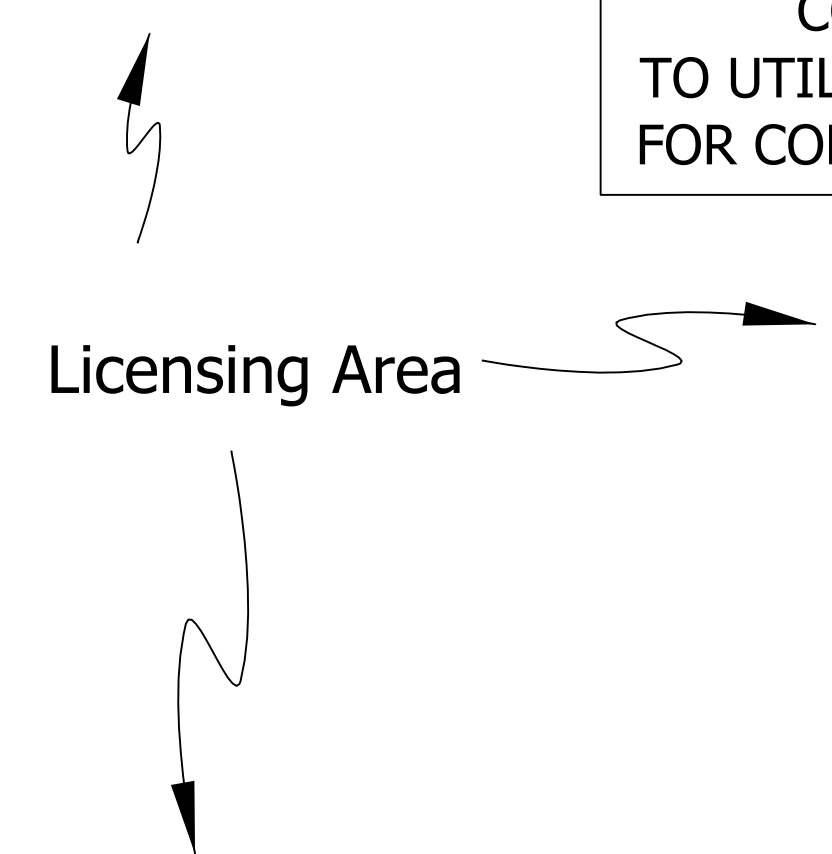
COUNTY / PR #	NELSON COUNTY / PR - 5825
AGENCY	TRANSPORTATION DRIVERS REGULATION-LICENSING
PROPERTY OWNER	X
PROPERTY ADDRESS	202 BARDSTOWN PLAZA DRIVE BARDSTOWN, KY
SQUARE FOOTAGE	3322 SQ. FT.
DRAWN BY	B.LANE
DATE	10/23/2024
SCALE	1/4" = 10"





Note 1
 Support Column shall be move to accomodate the door and be within the adjacent wall
 Design responsibility of the Contractor

NOTE: FURNITURE AND OFFICE PARTITIONS NOT IN CONTRACT. TO BE SUPPLIED AND INSTALLED BY OTHERS.
 CONTRACTOR RESPONSIBLE TO CONNECT TO UTILITIES AND PROVIDE INDIVIDUAL METERS FOR COMMONWEALTH ATTORNEY AND LICENSING.



LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALL
	NEW SOUNDPROOF WALL
	20 AMP 110 DUPLEX ELECTRICAL OUTLET
	110 DEDICATED ELECTRICAL OUTLET
	110 FOURPLEX ELECTRICAL OUTLET
	DEDICATED 110 FOURPLEX ELECTRICAL OUTLET
	DEDICATED 220 ELECTRICAL OUTLET
	MOTION SENSITIVE LIGHT SWITCH W/ MANUAL OVERRIDE SWITCH
	VOICE / DATA OUTLET
	LOCKABLE DOOR
	VINYL FLOOR TILE
	20 AMP 110 DUPLEX ELECTRICAL OUTLET
	VOICE / DATA OUTLET

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REVISIONS

- 7/15/24 B.LANE -- REVISED LAYOUT PER LESSOR
- 8/3/24 B.LANE -- REVISED LAYOUT
- 8/18/24 -- ADDED DETAILS

COMMONWEALTH OF KENTUCKY
 DIVISION OF REAL PROPERTIES
 PLANNING AND UTILIZATION BRANCH
 THIRD FLOOR BUSH BUILDING
 403 WAPPING STREET
 FRANKFORT, KY. 40601
 (502) 564-5490

COUNTY / PR #	NELSON COUNTY / PR - 5831
AGENCY	UPS COMMONWEALTHATTORNEY 10TH CIRCUIT JUD. CIR.
PROPERTY OWNER	X
PROPERTY ADDRESS	202 BARDSTOWN PLAZA DRIVE BARDSTOWN, KY
SQUARE FOOTAGE	3412 SQ. FT.
DRAWN BY	B.LANE
DATE	10/23/2024
SCALE	1/4" = 10"

